



City Council Meeting  
April 3, 2023





Mayor Hooks

Call to Order





Pastor Jeremy Pollard, Summit Church, Alamance Campus

# Invocation





Bob Louis, Fire Chief

# Fire Chief Retirement Announcement







Mayor Hooks

# Proclamations

- ❖ Municipal Clerks Week- April 30- May 6th
- ❖ Small Business Week- First Week of May
- ❖ Public Works Week- May 31-27th
- ❖ Monarch Butterfly Month- May 2023







Organizer Jeff Church and a group of volunteers from Mill Creek recently spent time cleaning Hwy 119 North from Stagecoach to Mill Creek. This is the group's 2<sup>nd</sup> year in a row volunteering for this task.

Thank you!







Mayor Hooks

# Public Comments

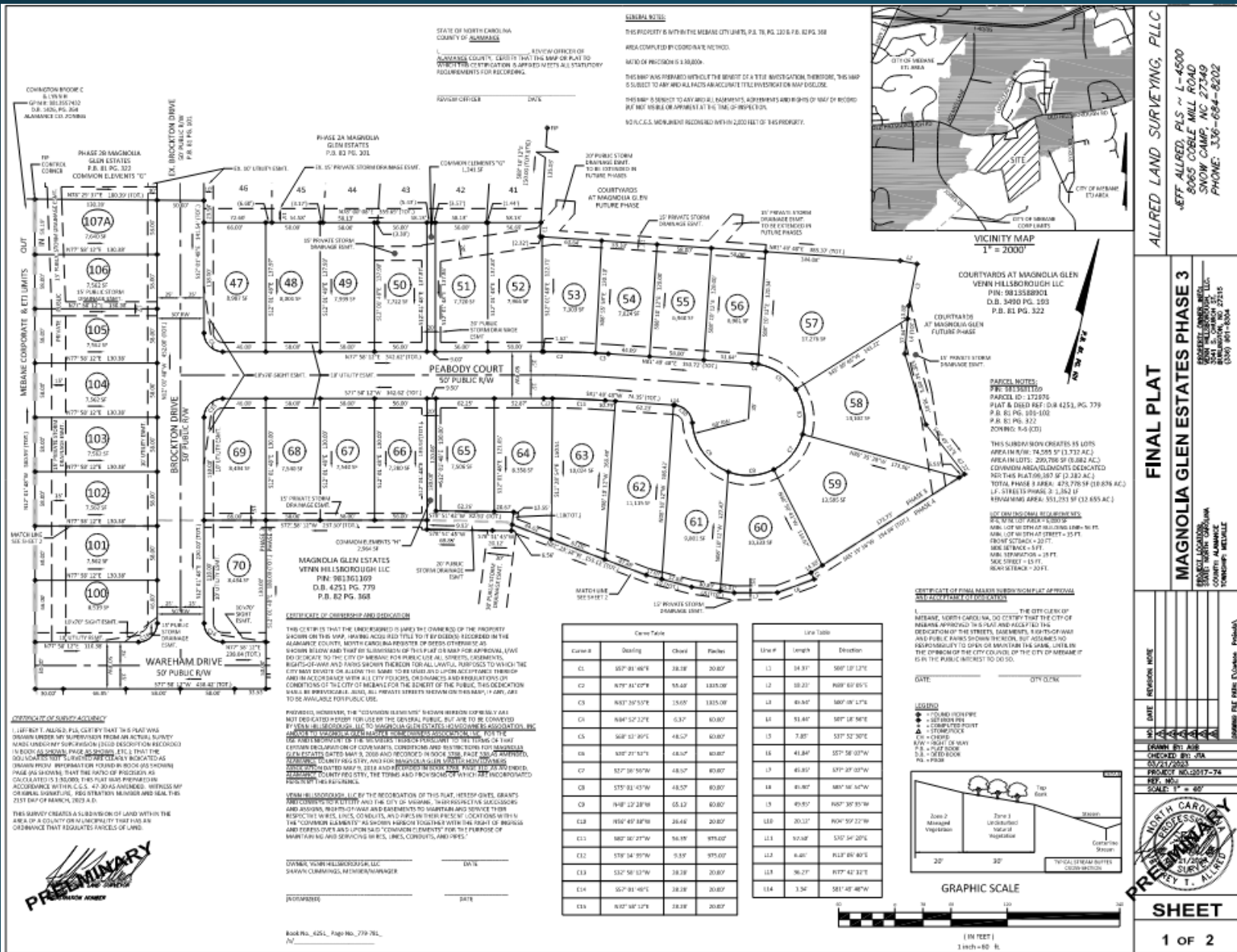


# Consent Agenda

- a. Approval of Minutes-
  - i. February 6, 2023- Regular Meeting
  - ii. February 10, 2023- Council and REAC Workshop
  - iii. March 17, 2023- Special Meeting- Transload Tour
  - iv. March 22, 2023- Special Meeting- Budget Work Session
- b. Police- Purchase Capital with Federal Equitable Funds
- c. Budget Ordinance Amendment- Cates Farm Park
- d. Capital Project Ordinance- GKN Pump Station
- e. Capital Project Ordinance- Amendment 5- WRRF
- f. FY 23 Audit Contract
- g. Annexation Petition- N. First Street Townhomes
- h. Alamance County Review Officer Appointments
- i. Final Plat- Magnolia Glen, Ph. 3
- j. Final Plat Reapproval- Stagecoach Corner, Ph. 1
- k. Final Plat Reapproval- Summerhaven, Ph. 2
- l. Social Media Policy



# Final Plat Approval - Magnolia Glen Estates, Ph. 3



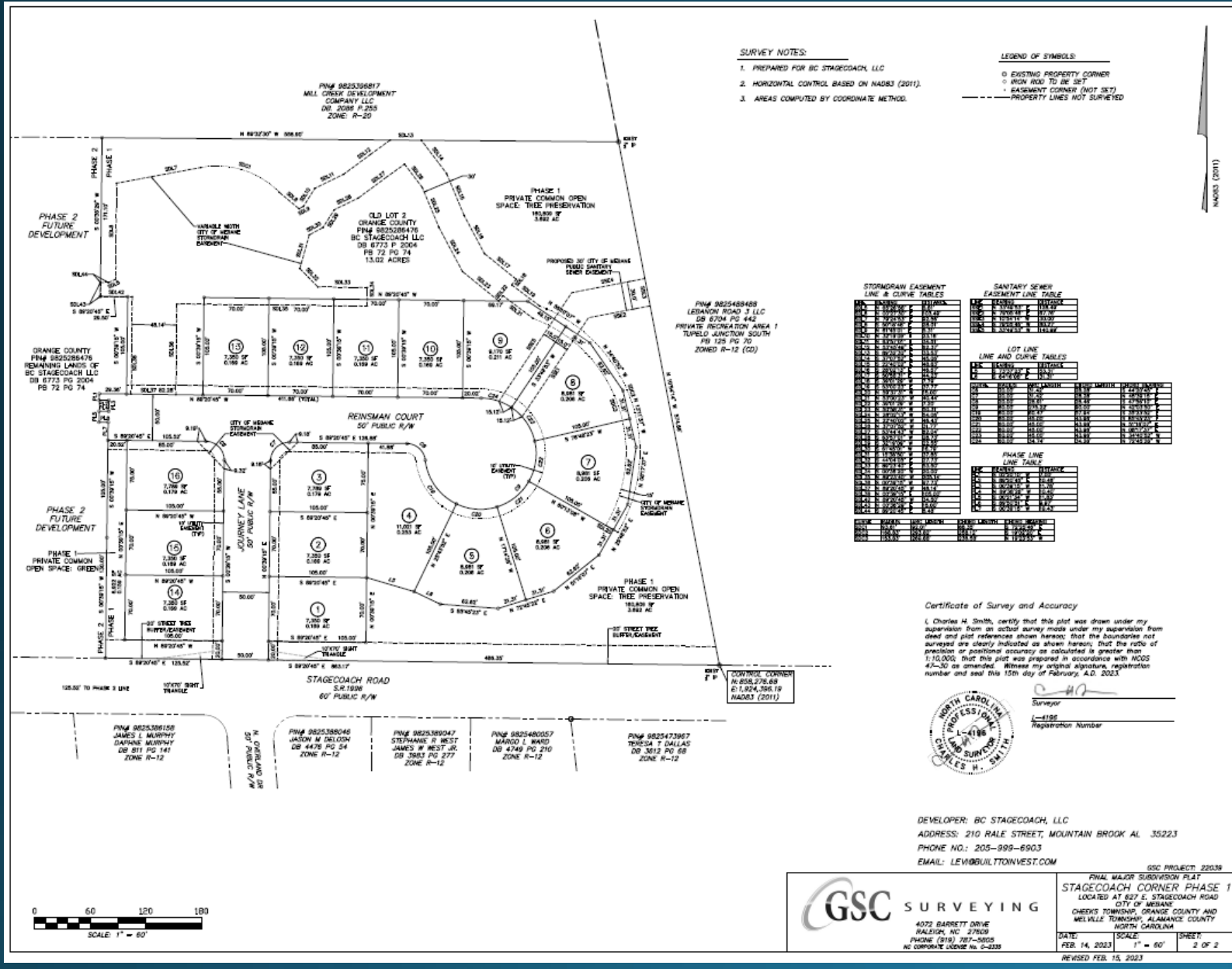
**ALLRED LAND SURVEYING, PLLC**  
 4877 ALLRED, PLS ~ L-4500  
 8065 COBBLE MILL ROAD  
 SNOW CAMP, NC 27349  
 PHONE: 336-684-8202

**FINAL PLAT**  
**MAGNOLIA GLEN ESTATES PHASE 3**  
 8065 COBBLE MILL ROAD  
 SNOW CAMP, NC 27349  
 PHONE: 336-684-8202

**PREPARED BY:** T. ALLEN  
**DATE:** 04/25/2023  
**PROJECT:** 1610517-74  
**SCALE:** 1" = 60'  
**CITY OF MERAKE**  
 PRELIMINARY



# Final Plat Reapproval - Stagecoach Corner, Ph.1



**Certificate of Survey and Accuracy**

I, Charles H. Smith, certify that this plat was drawn under my supervision from an actual survey made under my supervision from deed and plat references shown hereon; that the boundaries not surveyed are clearly indicated as shown hereon; that the ratio of precision or positional accuracy as calculated is greater than 1:10,000; that this plat was prepared in accordance with NCOS 47-30 as amended. Witness my original signature, registration number and seal this 15th day of February, A.D. 2023.

Surveyor: *Charles H. Smith*  
 Registration Number: 4186

DEVELOPER: BC STAGECOACH, LLC  
 ADDRESS: 210 RALE STREET, MOUNTAIN BROOK AL 35223  
 PHONE NO.: 205-999-6903  
 EMAIL: LEV@GUILTONVEST.COM

**GSC SURVEYING**

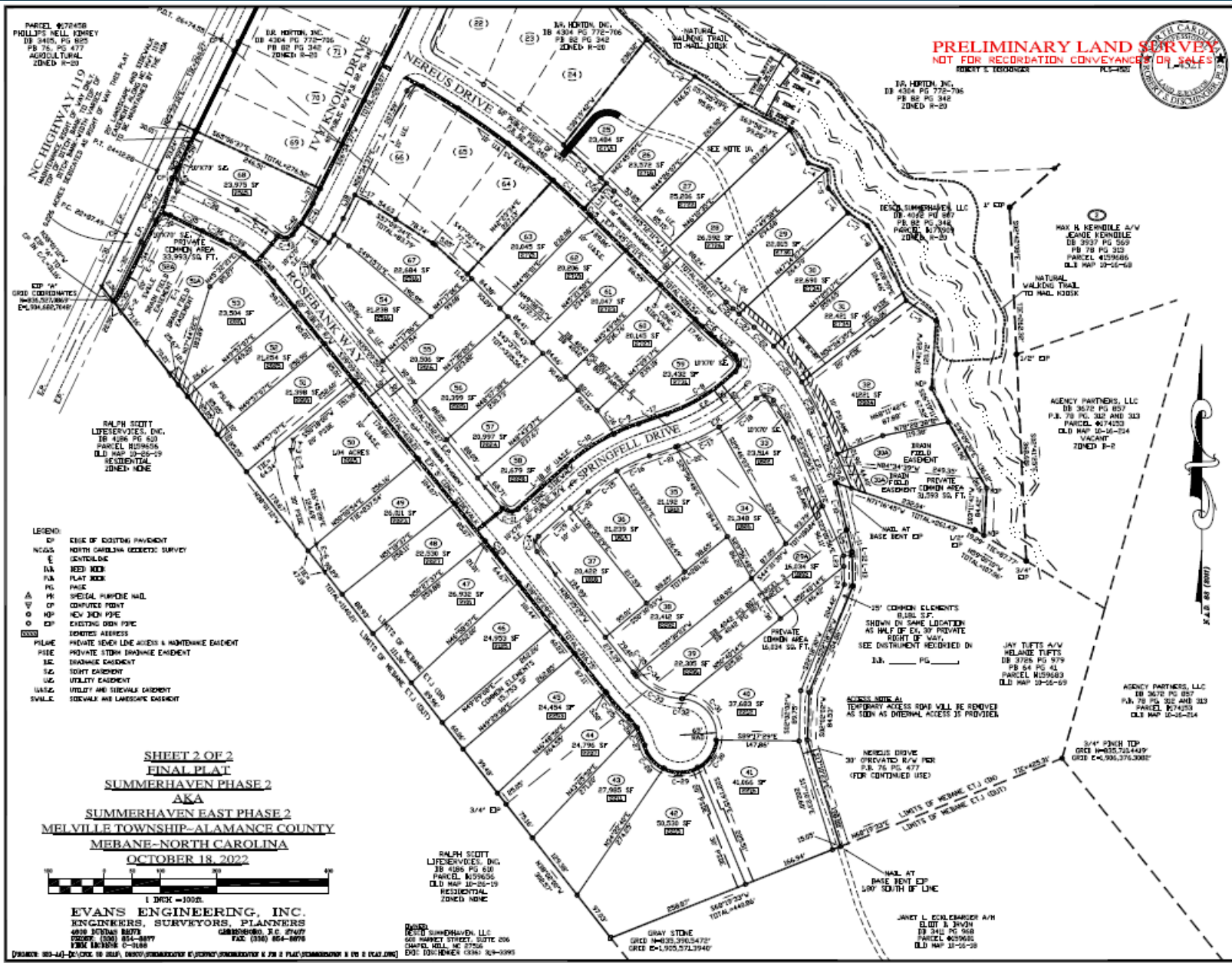
4072 BARRETT DRIVE  
 RALEIGH, NC 27609  
 PHONE: (919) 787-5905  
 NC CORPORATE LICENSE NO. 6-2338

GSC PROJECT: 22039  
 FINAL MAJOR SUBDIVISION PLAT  
**STAGECOACH CORNER PHASE 1**  
 LOCATED AT 827 E. STAGECOACH ROAD  
 CITY OF MESSENE  
 CHEEK'S TOWNSHIP, ORANGE COUNTY AND  
 MELVILLE TOWNSHIP, ALAMANCE COUNTY  
 NORTH CAROLINA

DATE: FEB. 14, 2023    SCALE: 1" = 60'    SHEET: 2 OF 2  
 REVISED FEB. 15, 2023







# Final Plat Reapproval - Summerhaven, Ph. 2







# Quarterly Update

Downtown Mebane  
Development Corporation

Mebane City Council – April 3, 2023





# The DMDC Mission

The Downtown Mebane Development Corporation facilitates the revitalization and preservation of historic Downtown Mebane through an inclusive collaboration and partnership with greater Mebane.



# The DMDC Message

- Full designation as Mebane Main Street is coming in July
- We're advocates for Downtown
- We're a communications resource
- We're a collaborating partner
- Connect with us to find out how you can be involved!



# DMDC Board of Directors

- **Dan Shannon** (Edward Jones) - President
- **Steve Krans** (Junction on 70) – Vice President
- **Sugaree Thornton** (Clay Street Printing & Signs) – Secretary
- **Kat Mathias** (Impulsive Creativity) – Treasurer
- **Teresa Dallas** (The Curious Peddler)
- **Barbara Guttman** (Downtown property owner)
- **Sarah Williams** (Habitat for Humanity of Alamance County)
  
- **Mayor Ed Hooks** – Ex-officio
- **Council Member Katie Burkholder** – Ex-officio
- **Aaron Davis** (City of Mebane Recreation and Parks) – Ex-officio
- **Grace VandeVisser** (Alamance County Visitors Bureau) – Ex-officio



# Four Points of Main Street

- **Organization**
- **Promotion**
- **Design**
- **Economic Vitality**



# Recent Milestones for DMDC

## Organization

- Ongoing Executive Committee meetings
- Ongoing Board meetings
- Board retreat in January
- Kickoff for all committees, subcommittees
- State Main Street conference in March
- Completion of program assessment
- Communications intern (spring semester)
- Creating program awareness and education



# Recent Milestones for DMDC

## Promotion

- Ongoing Covid Catch-Up Ribbon Cuttings
- Compiling comprehensive 2023 Downtown events list
- Contracting with Andre' Watson Photography
- Social media promotion for retail and Downtown events



# Recent Milestones for DMDC

## Promotion *(continued)*

- Website next phases

<https://www.VisitDowntownMebane.com>

- Downtown Businesses monthly meetings





# Recent Milestones for DMDC



## Design

- History subcommittee
- Public Arts subcommittee





# Recent Milestones for DMDC

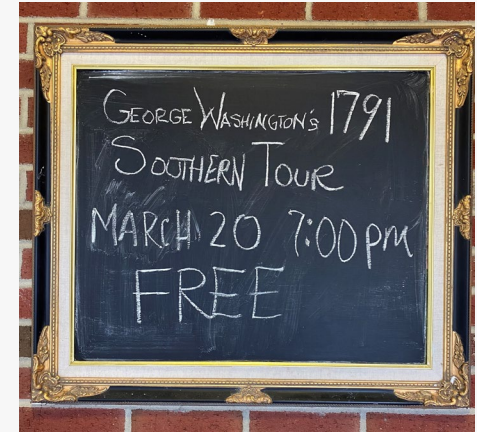
## Economic Vitality – Economic Development Strategies (Committees)

- Center for Community Engagement and Inclusivity
- Rich with Diverse Small Businesses, Nightlife and Dining Options
- Hub for Regional Leisurely and Recreational Activities



# Value of DMDC

- Networking/Collaboration
  - Destination Downtown Mebane
  - Mebane Merchants
  - Mebane Business Association
  - Mebane Historical Museum
  - Mebane Train Museum
  - Mebane Trail Rangers
  - Main Street directors (Elon & Burlington)
  - Alamance Chamber of Commerce
  - Alamance Wellness Collaborative
  - Alamance County Visitor's Bureau
  - Elon University
  - City committees (ex. BPAC)



# Value of DMDC

- City Liaison
  - Community with a Cause/St. Baldrick's Foundation event
  - Clay Street construction project
  - City events (ex. Eggstravaganza & Bunny Hop)
  - Downtown property tours
- Exposure and Education
  - Downtown businesses
  - Greater Mebane business community
  - Non-profits
  - Social organizations
  - Schools
  - Individuals
  - Anyone with an interest in Downtown Mebane



# Coming Up Next Quarter

- Updates to work plan
- Buildout of committees
- Volunteer outreach & recruitment
- Fundraising strategies
- FY24 budget
- Business support during construction
- Summer communications intern (Elon)
- **Main Street Designation celebration**





Thank you





Questions?







Ashley Ownbey, Development Director

Proposed UDO Text Amendment : Table 4-1-1 and Sec. 4-7.7-D  
by 3S Investments, LLC



# Proposed Amendment – Table 4-1-1

Allow “Equipment Rental and Leasing (with outside storage)” by Special Use request in the B-2 Zoning District.

4-1-1 Table of Permitted Uses															
02/04/08; amended 04/07/08, 05/03/10, 07/11/11, 08/05/13, 04/07/14, 10/06/14; 07/09/18; 11/05/18; 03/04/19; 10/17/19; 06/01/20; 10/04/21; 06/06/22; 07/11/22															
	Ref. SIC	Development Standards													
			R20	R15	R12	R10	R8	R6	OI	B1	B2	B3	LM	HM	
<b>BUSINESS, PROFESSIONAL and PERSONAL SERVICES</b>															
Advertising, Outdoor Services	7312											P	P	P	P
Parking Lot	7521									P	P	P		P	P
Automobile Rental or Leasing	7510										S	P		P	P
Automobile, ATV, and Motorcycle Repair Services, Minor	0000	Sec. 4-7.7 A									S	D	S	D	P
Automobile Repair Services, Major	0000	Sec. 4-7.7 A												S	S
Automobile Towing and Storage Services	7549													P	P
Bank, Savings and Loan, or Credit Union, inc. ATMs	6000									P	P	P	P		
Barber Shop, Beauty Shop, Cosmetic Tattoos	7241	Sec. 4-1.G								P	P	P	P		
Bed and Breakfast	7011	Sec. 4-7.7 B	D	D	D	D				P	D	P	D		
Bicycle Repair	3751										P	P	P	P	
Boat Repair	3730													P	P
Car Wash, Auto Detailing	7542											P			P
Clothing Alteration or Repair	0000										P	P	P		
Contractor Office with Outside Storage Yard	0000	Sec. 4-7.7 C												D	D
Computer Maintenance and Repair	7378										P	P	P		
Craft Studio											P	P	S	P	
Equipment Rental and Leasing (no outside storage)	7350											P		P	P
Equipment Rental and Leasing (with outside storage)	7350	Sec. 4-7.7 D										S		D	D
Equipment Repair	7690											P		P	
Funeral Home, Crematorium	7261									P	P	P			

P = Permitted by right  
 D = Development standards must be met  
 E = Exempt from UDO regulation

BA = Special Use request, Board of Adjustment  
 S = Special Use request, City Council





# Proposed Amendment – Sec. 4-7.7, D

## D. Equipment Rental and Leasing (with outside storage)

### 1. Where Development Standards are Required:

B-2, HM, and LM districts.

*Amended June 6, 2022*

### 2. General Requirements:

- (a) Use Separation: Fifty feet minimum from any side or rear property line of any residentially-zoned or used lot.
- (b) Security Fencing: Security fencing, a minimum of 6 feet in height, shall be provided around all outside storage areas.
- (c) Screening: Whenever the use abuts a residential district, a minimum six-foot high fence and landscaping shall be provided in accordance with Section 6-4.

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*Mebane UDO, Article 4* *4-103*  
*February 4, 2008; amended November 25, 2008; October 6, 2014; January 12, 2015; June 5, 2017; October 1, 2018;*  
*November 5, 2018; March 4, 2019; June 7, 2021; October 4, 2021; June 6, 2022; July 11, 2022*

- (d) Vehicular Access: Principal access shall be from a collector or higher capacity road.

Development standards would apply.



# Findings of Fact

1. “Outside Storage” is currently identified in Table 4-1-1, Table of Permitted Use, as permitted by Special Use Permit in the B-2 Zoning District.
2. Amendments are generally consistent with growth and development policies of the City’s Comprehensive Land Development Plan, *Mebane by Design* and afford protection of residential neighbors through Special Use process.





# Applicant Presentation



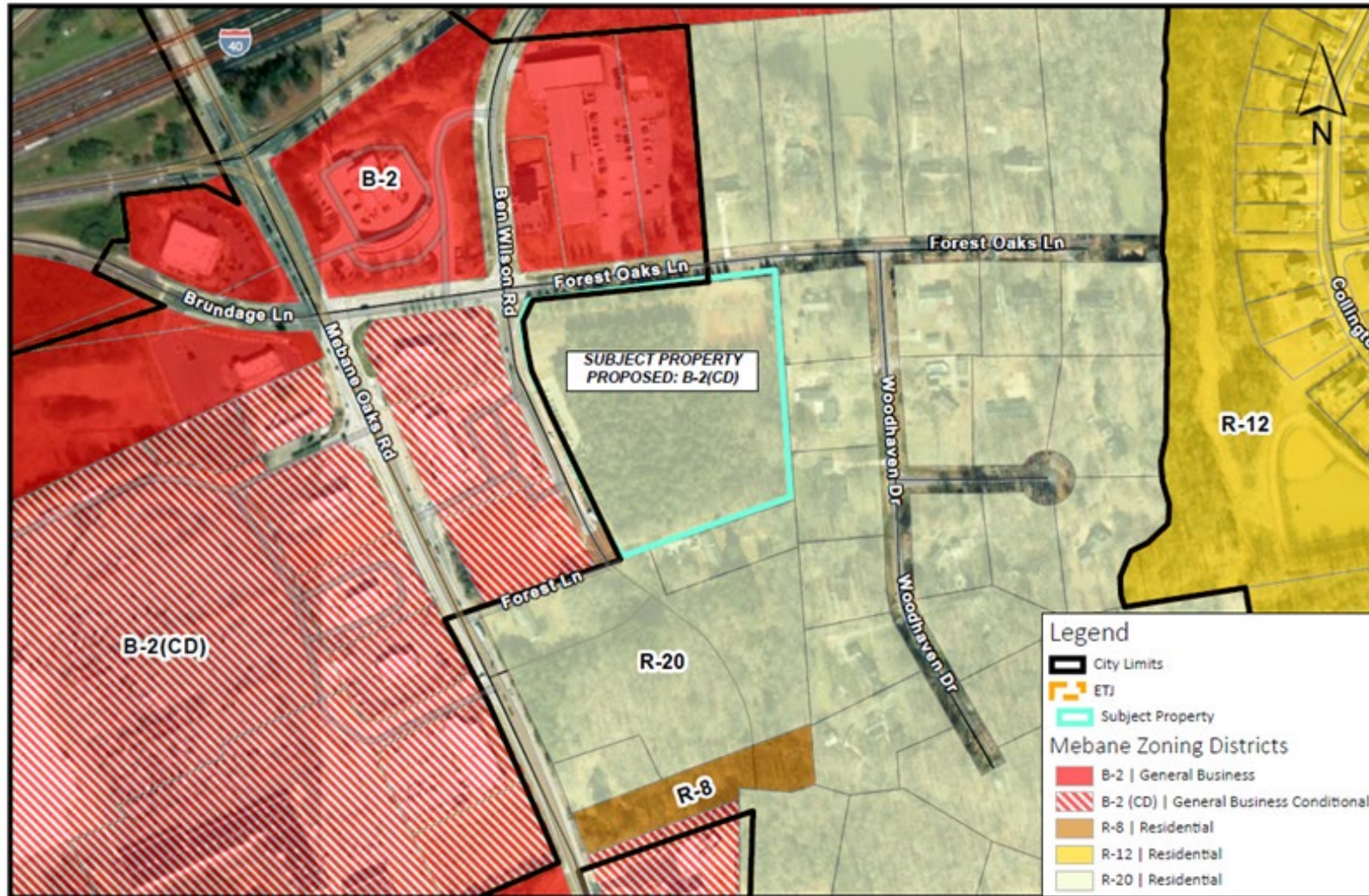


Ashley Ownbey, Development Director

Rezoning Request: R-20 to B-2 (CD)  
by Hendon Properties, LLC







# Tractor Supply

## Conditional Zoning Request

- Request by Hendon Properties, LLC
- +/- 6.19 acre lot
- Existing zoning: R-20
- Requested zoning: B-2 (CD)



**CITY OF MEBANE**  
**ZONING MAP**

**CONDITIONAL REZONING**  
**TRACTOR SUPPLY**

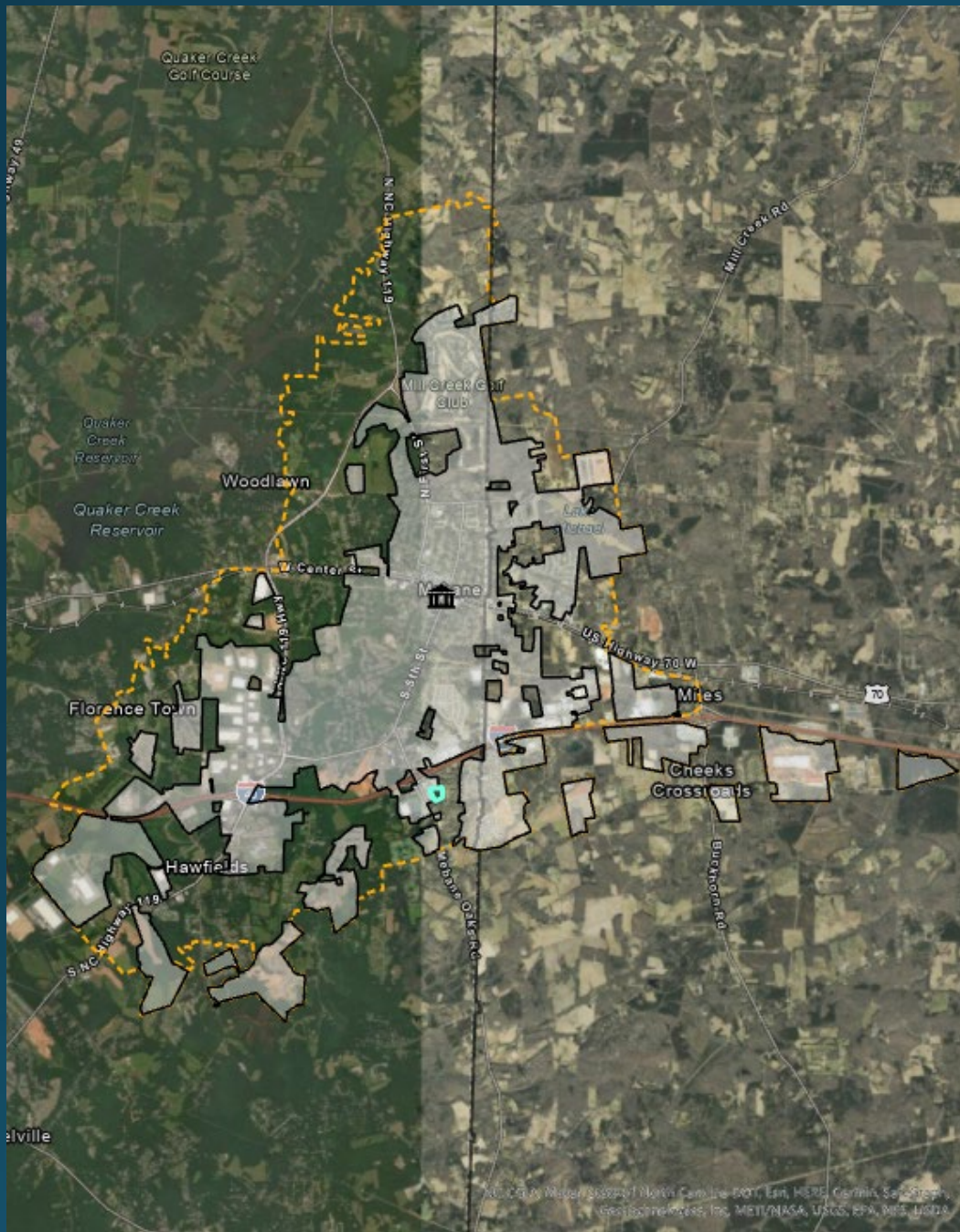
1 inch = 300 feet

**DATE: 03/06/23**

**DRAWN BY: RG**







# Tractor Supply

## Conditional Zoning Request

- Mebane ETJ
- Applicant must petition for annexation before connecting to City water and sewer.







# Tractor Supply

## Conditional Zoning Request

- Vacant except for gravel parking, forested with stormwater pond
- Surrounding uses include:
  - Restaurants
  - Retail
  - Medical and Veterinary offices, Fitness Gym, and Other Professional Service Uses
  - Residential





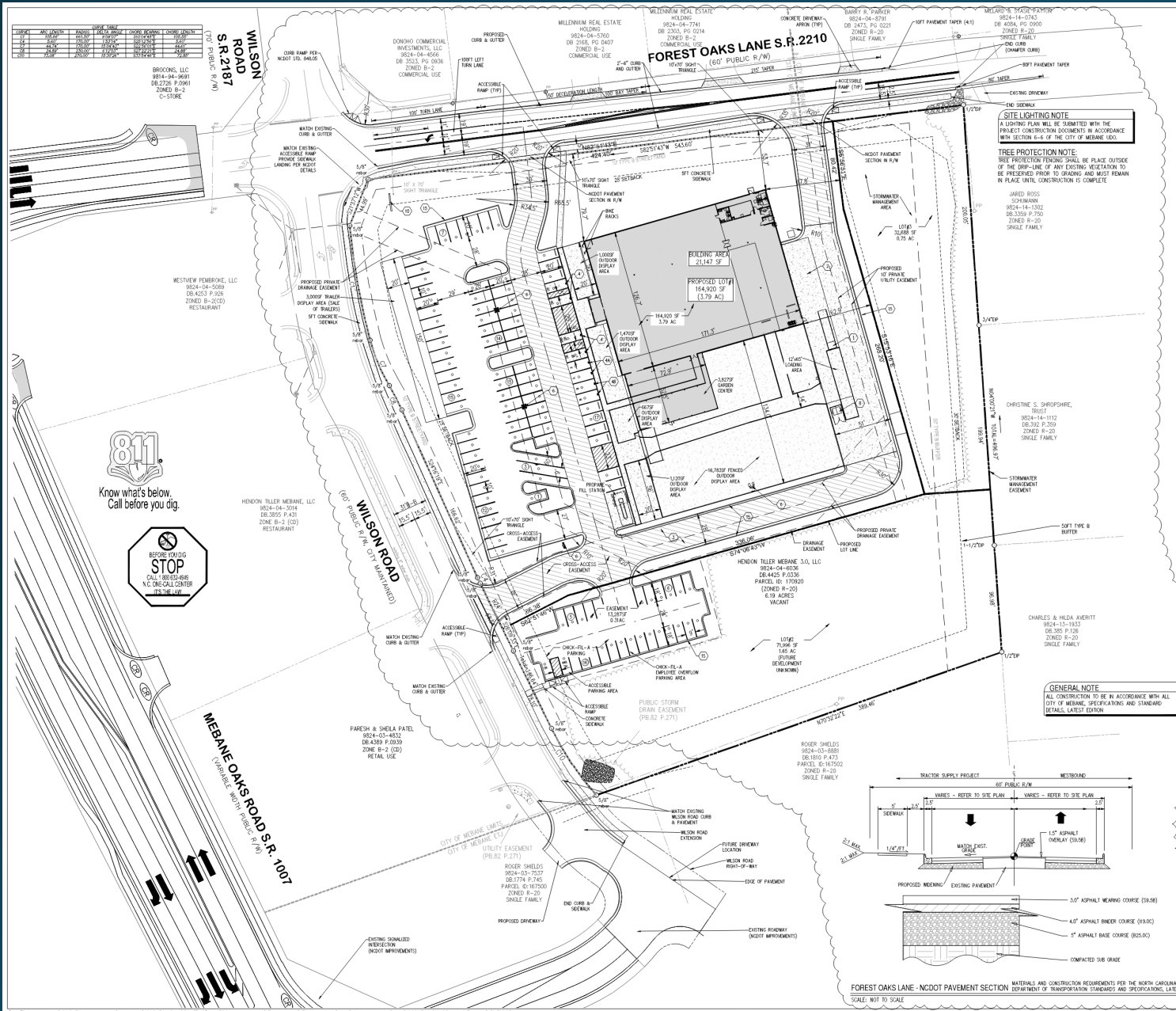


# Tractor Supply Conditional Rezoning Request

*Mebane By Design* Secondary Growth Strategy Area







# Tractor Supply

## Conditional Zoning Request

B-2(CD) zoning requested to allow for a farm supplies and equipment retail use as shown on site-specific plan.

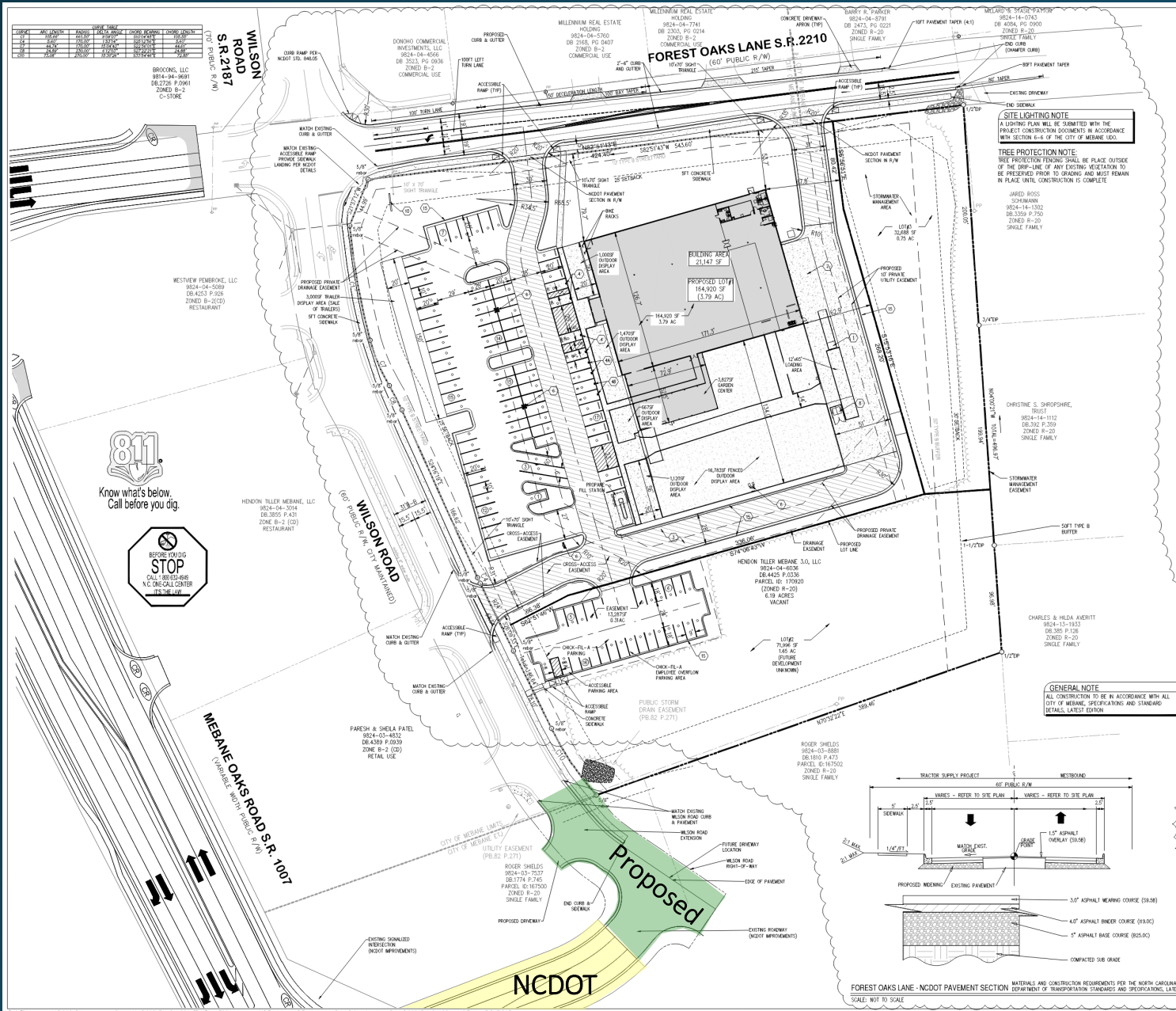
### Multi-modal Improvements:

- Construction of a 5-foot sidewalk on the east side of Wilson Road and on the south side of Forest Oaks Lane.
- Construction of curb and gutter on sections of Forest Oaks Lane.

### Proposed Conditions:

- Extension of Wilson Road to the end of NCDOT's "stub" roadway improvements associated with the I-5711 Mebane Oaks Road Interchange and Roadway Improvements.
- Stormwater pond constructed for a 100-year storm event.





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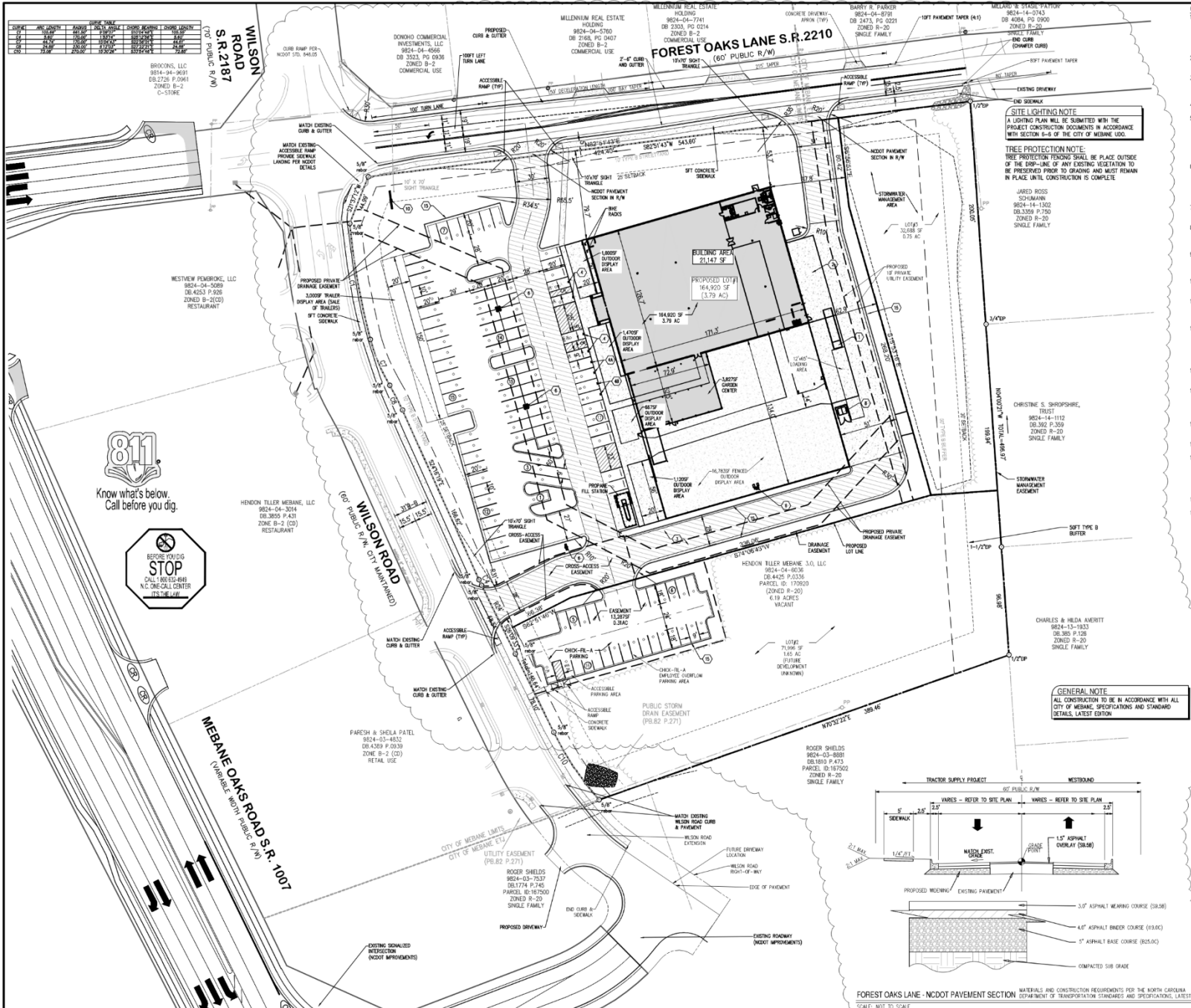




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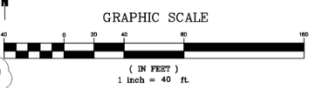
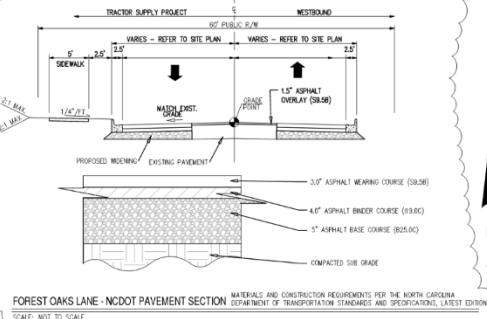







- GENERAL NOTES:**
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY CITY OF MEBANE AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
  - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
  - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER.
  - COORDINATE ALL CURB AND STREET GRADES AT INTERSECTIONS WITH INSPECTOR.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE CITY OF MEBANE CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
  - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
  - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
  - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
  - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL, MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF MEBANE PUBLIC UTILITIES DEPARTMENT FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
  - ACCESSIBLE RAMPS TO BE PROVIDED IN ACCORDANCE WITH NCDDOT AND CITY OF MEBANE STANDARDS.
  - ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 300 SQUARE FEET.
  - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - ANNEXATION OF THE PROPERTY INTO THE CITY OF MEBANE WILL BE REQUIRED.
  - A EXECUTED SHARED PARKING AGREEMENT WILL BE REQUIRED FOR THE PROPOSED CHOK-FIL-A PARKING AREA PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.


- KEYNOTES**
- STEEL DOCK/RAMP - REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL
  - CONCRETE PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET C1.4
  - ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET
  - STANDARD DUTY PAVEMENT
  - HEAVY DUTY PAVEMENT
  - NCDDOT PAVEMENT SECTION
  - HANDICAP PARKING SIGN - SEE DETAIL SHEET
  - VETERANS PARKING SIGN - SEE DETAIL SHEET
  - ON-LINE PARKING SIGN - SEE DETAIL SHEET
  - BOLLARD - SEE DETAIL SHEET
  - CONCRETE LIGHT POLE BASE
  - CONCRETE SIDEWALK - SEE DETAIL SHEET FOR SIDEWALKS AROUND BUILDING
  - DUMPSTER ENCLOSURE - REFER TO SHEET
  - 6"-8" LONG CONCRETE WHEEL STOP, FINISHED TO PAVEMENT - SEE DETAIL SHEET. LOCATE 2'-6" FROM FACE OF CURB OR SIDEWALK.
  - SIGN (UNDER SEPARATE PERMIT)
  - 4" WIDE PARKING STRIPE PAINTED WHITE (TYP)
  - 4" WIDE PARKING DIAGONAL STRIPES
  - ACCESSIBLE PARKING AREA - (PER A.D.A. REQUIREMENTS)
  - NEW GRASS/LANDSCAPE AREA
  - CONCRETE CURB AND GUTTER - SEE DETAIL SHEET
  - STOP SIGN - SEE DETAIL SHEET
  - PAVEMENT MARKINGS
  - NEW CURB CUT, MATCH EXISTING EOP & APPROACH PER LOCAL CODES & SPECS.
  - CONCRETE FLUME - REFER TO DETAIL ON SHEET (NOT SHOWN)
  - PROPOSED PARKING COUNT





Bowman North Carolina, Ltd.  
4005 BARRETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919)555-6070  
bowman.com

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TRACTOR SUPPLY COMPANY

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HENDON PROPERTIES  
CREATING GREATER VALUE

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PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION

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PLAN STATUS

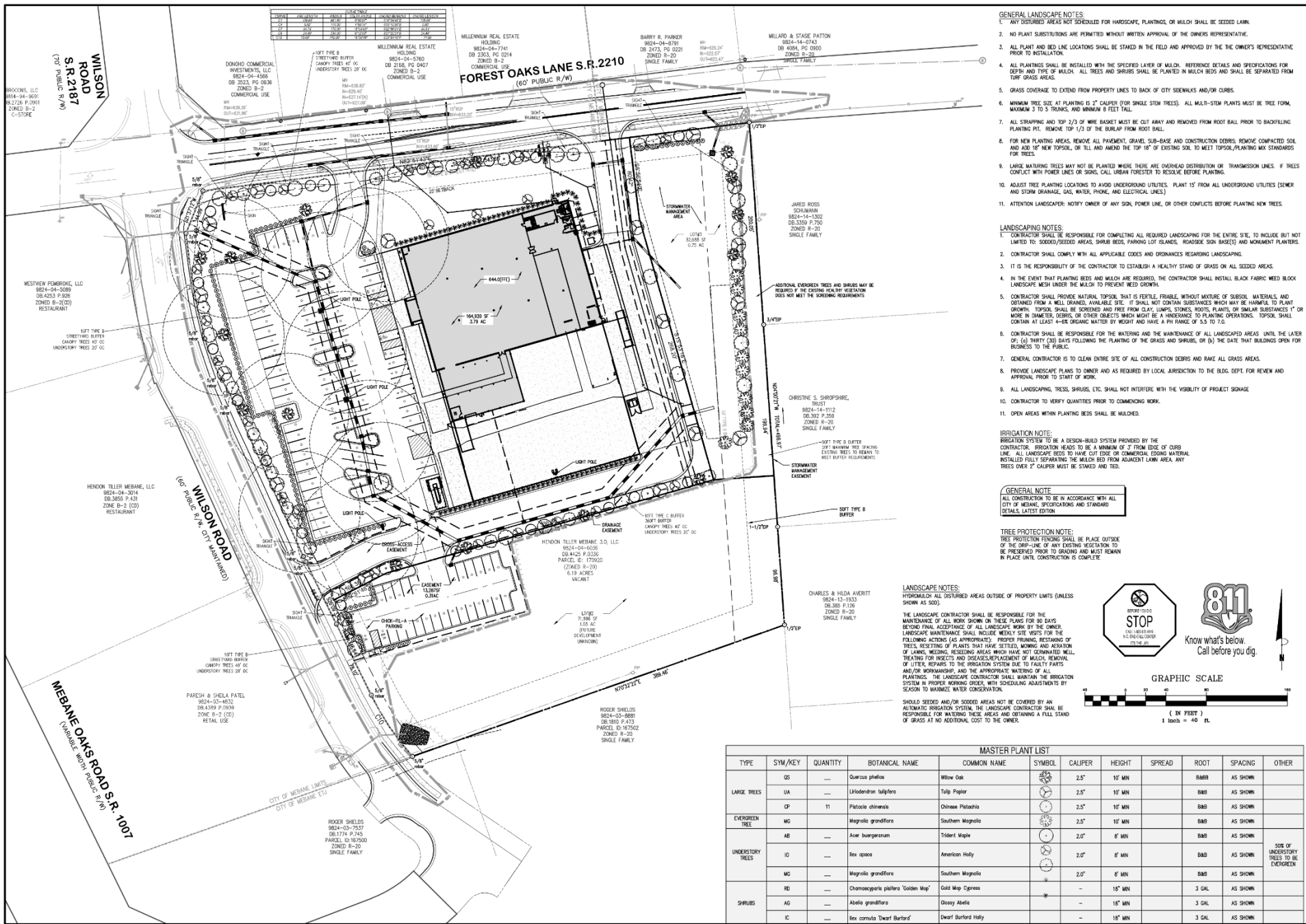
1/12/23	PER TRC REVIEW
2/17/23	PER TRC REVIEW
2/28/23	PER TRC REVIEW

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DATE	DESCRIPTION
10/17/2022	DESIGN
10/17/2022	BY DRAWN
10/17/2022	BY CHECKD
10/17/2022	SCALE: 1" = 40'
10/17/2022	JOB No. 220159-01-001
10/17/2022	DATE
10/17/2022	FILE No.

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SHEET **C3.0**



- GENERAL LANDSCAPE NOTES:**
1. ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDED LAWN.
  2. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
  3. ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  4. ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS AND SHALL BE SEPARATED FROM TURF GRASS AREAS.
  5. GRASS COVERAGE TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
  6. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS AND MINIMUM 4 FEET TALL.
  7. ALL STRIPPING AND TOP 1/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
  8. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
  9. LAWN MAINTENANCE TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNALS, CALL UTILITY FORESTER TO RESOLVE BEFORE PLANTING.
  10. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).
  11. ATTENTION LANDSCAPER: NOTIFY OWNER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.

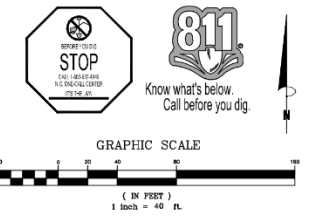
- LANDSCAPING NOTES:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SOODED/SEEDED AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND WORKMENT PLANTERS.
  2. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
  3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED AREAS.
  4. IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC MUD BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
  5. CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRAMBLE, WITHOUT MATURING OF SUBSON, MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, OR OTHER OBJECTS WHICH WOULD BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT BUILDING OPEN FOR BUSINESS TO THE PUBLIC.
  7. GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS.
  8. PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
  9. ALL LANDSCAPING, TREES, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF PROJECT SIGNAGE.
  10. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
  11. OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED.

**IRRIGATION NOTE:**  
IRRIGATION SYSTEM TO BE A DESIGN-BUILD SYSTEM PROVIDED BY THE CONTRACTOR. PROTECTION HEADS TO BE A MINIMUM OF 3" FROM EDGE OF CURB LINE. ALL LANDSCAPE BEDS TO HAVE CUT EDGE OR COMMERCIAL EDGING MATERIAL INSTALLED FULLY SEPARATING THE MULCH BED FROM ADJACENT LAWN AREA. ANY TREES OVER 2" CALIPER MUST BE STAKED AND TIED.

**GENERAL NOTE**  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF MEBANE SPECIFICATIONS AND STANDARD DETAILS, LATEST EDITION.

**TREE PROTECTION NOTE:**  
TREE PROTECTION FENCING SHALL BE PLACED OUTSIDE OF THE DIRT-LINE OF ANY EXISTING VEGETATION TO BE PRESERVED PRIOR TO GRADING AND MUST REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.

**LANDSCAPE NOTES:**  
HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOO).  
THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTORING OF TREES, RESEEDING OF PLANTS THAT HAVE SETTLED, WEEDING AND REMOVAL OF LAMPS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPAIRING MULCH, AND REPAIRING OF UTILITY, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FUTILITY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAINTAIN WATER CONSERVATION.  
SHOULD SEEDED AND/OR SOODED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND CARRYING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.



MASTER PLANT LIST											
TYPE	SYM/KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SYMBOL	CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
LARGE TREES	QS	---	Quercus phellos	Willow Oak		2.5"	10' MN		B&B	AS SHOWN	
	UA	---	Liriodendron tulipifera	Tulip Poplar		2.5"	10' MN		B&B	AS SHOWN	
	OP	11	Pistacia chinensis	Chinese Pistachia		2.5"	10' MN		B&B	AS SHOWN	
EVERGREEN TREE	MG	---	Magnolia grandiflora	Southern Magnolia		2.5"	10' MN		B&B	AS SHOWN	
	IB	---	Acer buergerianum	Trident Maple		2.0"	8' MN		B&B	AS SHOWN	
UNDERSTORY TREES	AO	---	Ilex opaca	American Holly		2.0"	8' MN		B&B	AS SHOWN	SIZE OF UNDERSTORY TREES TO BE EVERGREEN
	MG	---	Magnolia grandiflora	Southern Magnolia		2.0"	8' MN		B&B	AS SHOWN	
	RE	---	Chamaecyparis platifera 'Golden Map'	Gold Map Cypress		-	18" MN		3 GAL	AS SHOWN	
SHRUBS	AG	---	Abelia grandiflora	Oassy Abelia		-	18" MN		3 GAL	AS SHOWN	
	IC	---	Ilex cornuta 'Dwarf Barford'	Dwarf Barford Holly		-	18" MN		3 GAL	AS SHOWN	

**Bowman**

8500 BARRETT DR  
SUITE 104  
RALEIGH, NC 27609  
PHONE: (919) 855-9070  
BOWMAN.COM

LANDSCAPE PLAN  
Tractor Supply  
Wilson Road  
Mebane, NC  
Meibville Township Alamance County

**TSC**  
TRACTOR SUPPLY COMPANY

**HENDON PROPERTIES**  
CREATING GREATER VALUE

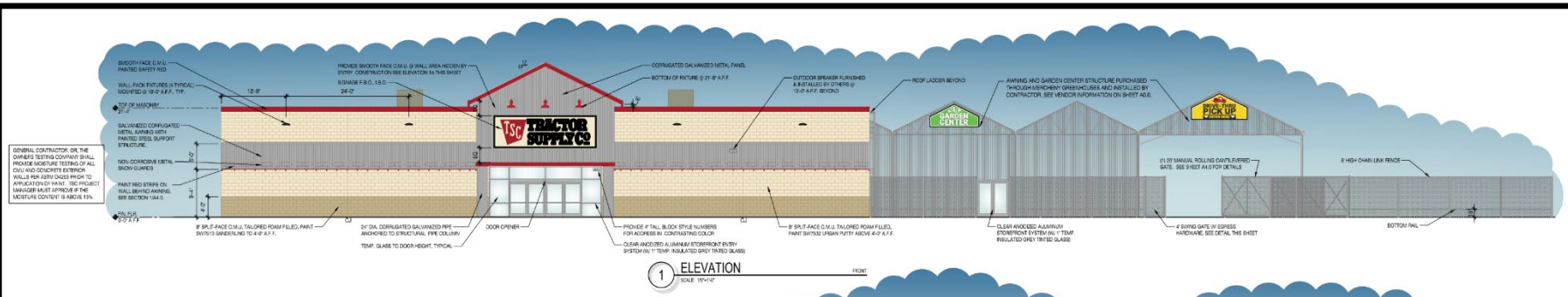
PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION

PLAN STATUS  
1/12/23 PER TRC REVIEW  
2/17/23 PER TRC REVIEW  
2/28/23 PER TRC REVIEW

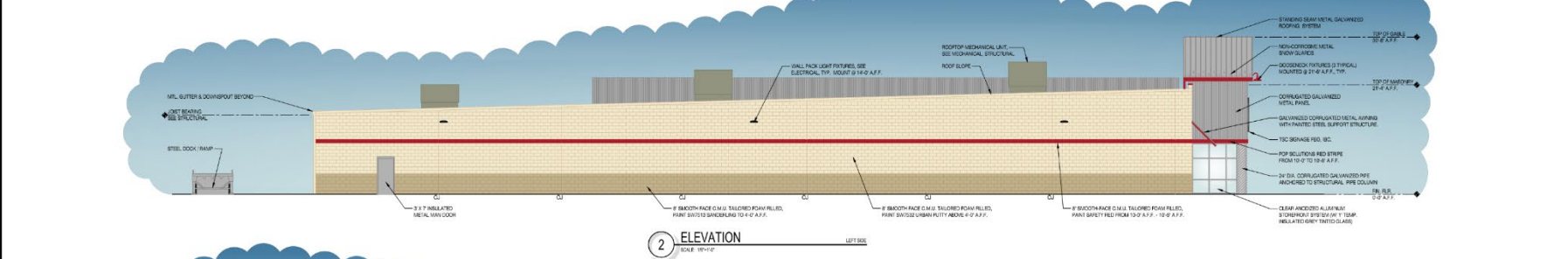
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JOB No. 220159-01-001  
DATE October 17, 2022  
FILE No.  
SHEET C7.0



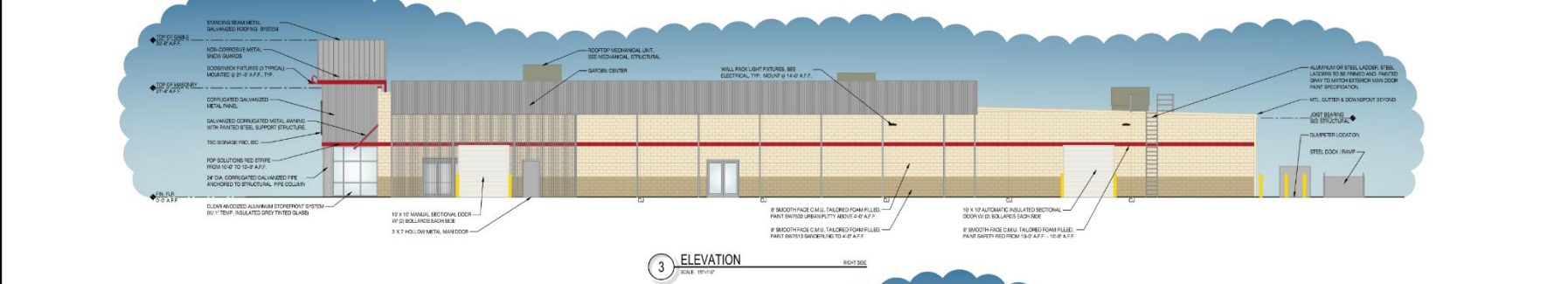




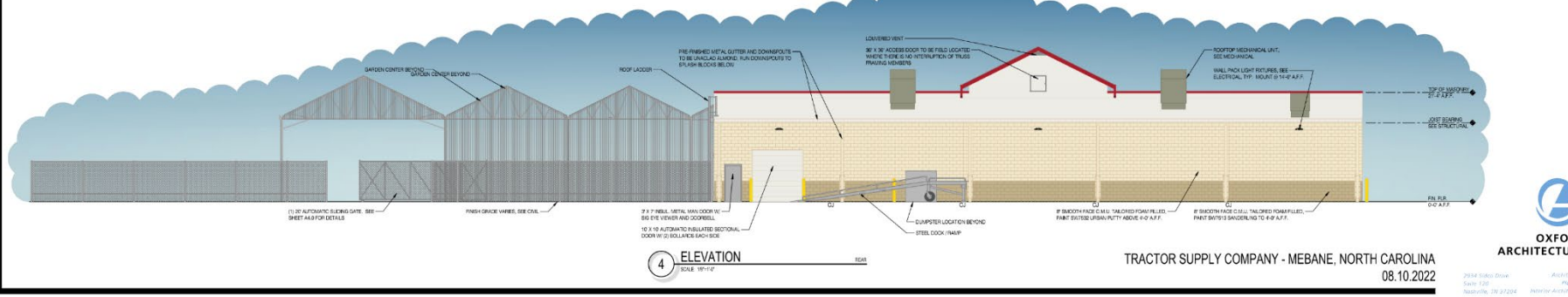
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2 ELEVATION  
SCALE: 1/8"=1'-0"



3 ELEVATION  
SCALE: 1/8"=1'-0"



4 ELEVATION  
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TRACTOR SUPPLY COMPANY - MEBANE, NORTH CAROLINA  
08.10.2022

**OXFORD**  
ARCHITECTURE









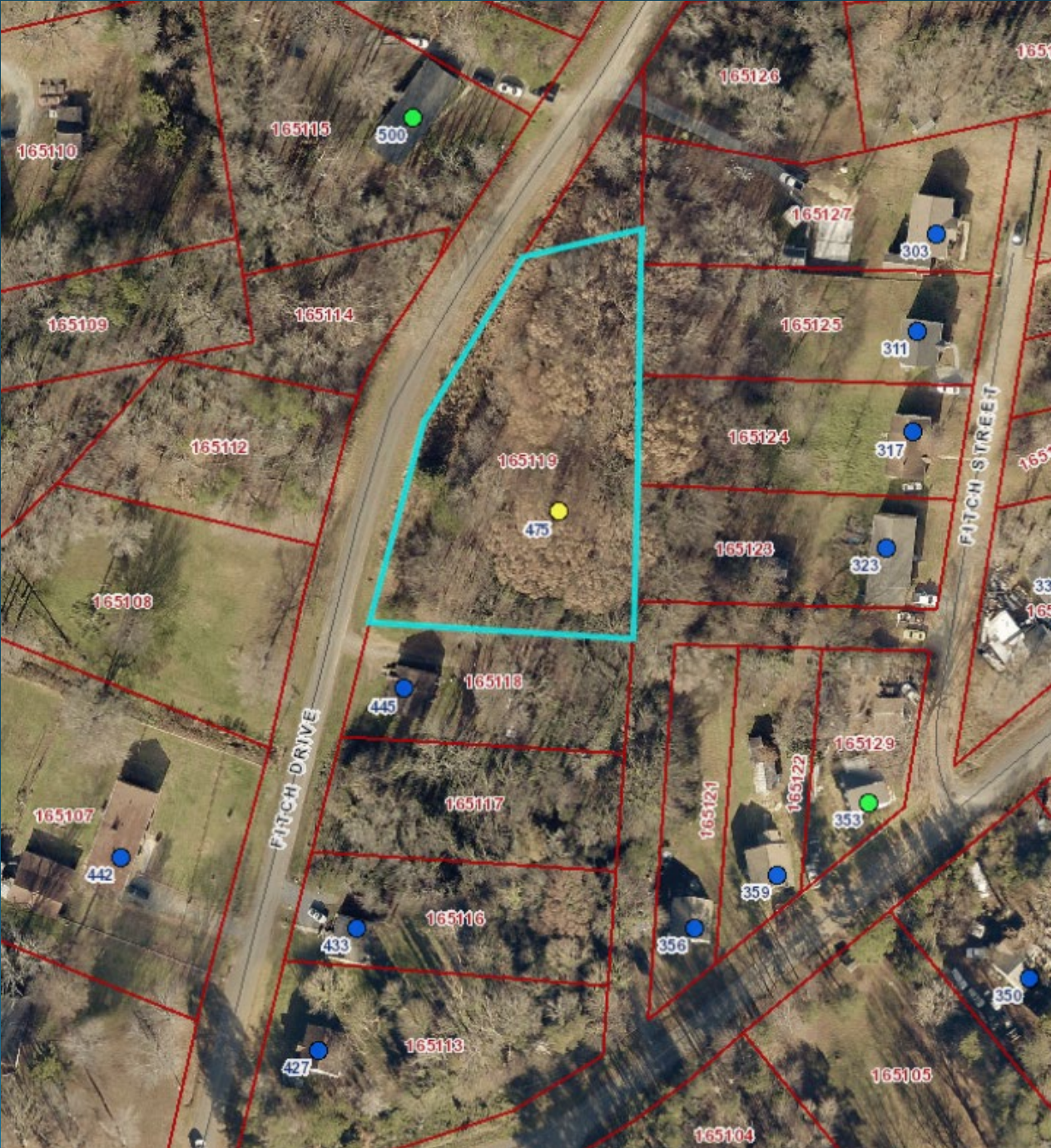
Mr. Brown

# Voluntary Annexation Agreement- 475 Fitch Drive





Voluntary Annexation Agreement-  
475 Fitch Drive





# Announcements:

- City Offices Closed on April 7<sup>th</sup> in observance of Good Friday
- City Council Budget Work Session – Monday, April 17<sup>th</sup> @ 1:30pm- Council Chambers
- Dogwood Festival-
  - Friday- April 21<sup>st</sup>
    - 9am- Golf Tournament
    - 6:35pm- 5K race
    - 7pm- Mason Lovette Band
    - 6pm -10pm- Carnival rides, Movie Night for Kids and Food vendors
  - Saturday- April 22<sup>nd</sup>
    - 10am-7pm- Food, arts, carnival rides and craft vendors, Annual Car Show, Beer Garden and multiple stages offering a variety of entertainment.





Mayor Hooks

Adjournment

