



City Council Meeting
April 6, 2026





Mayor Hooks

Call to Order





Mayor Hooks

Moment of Silence



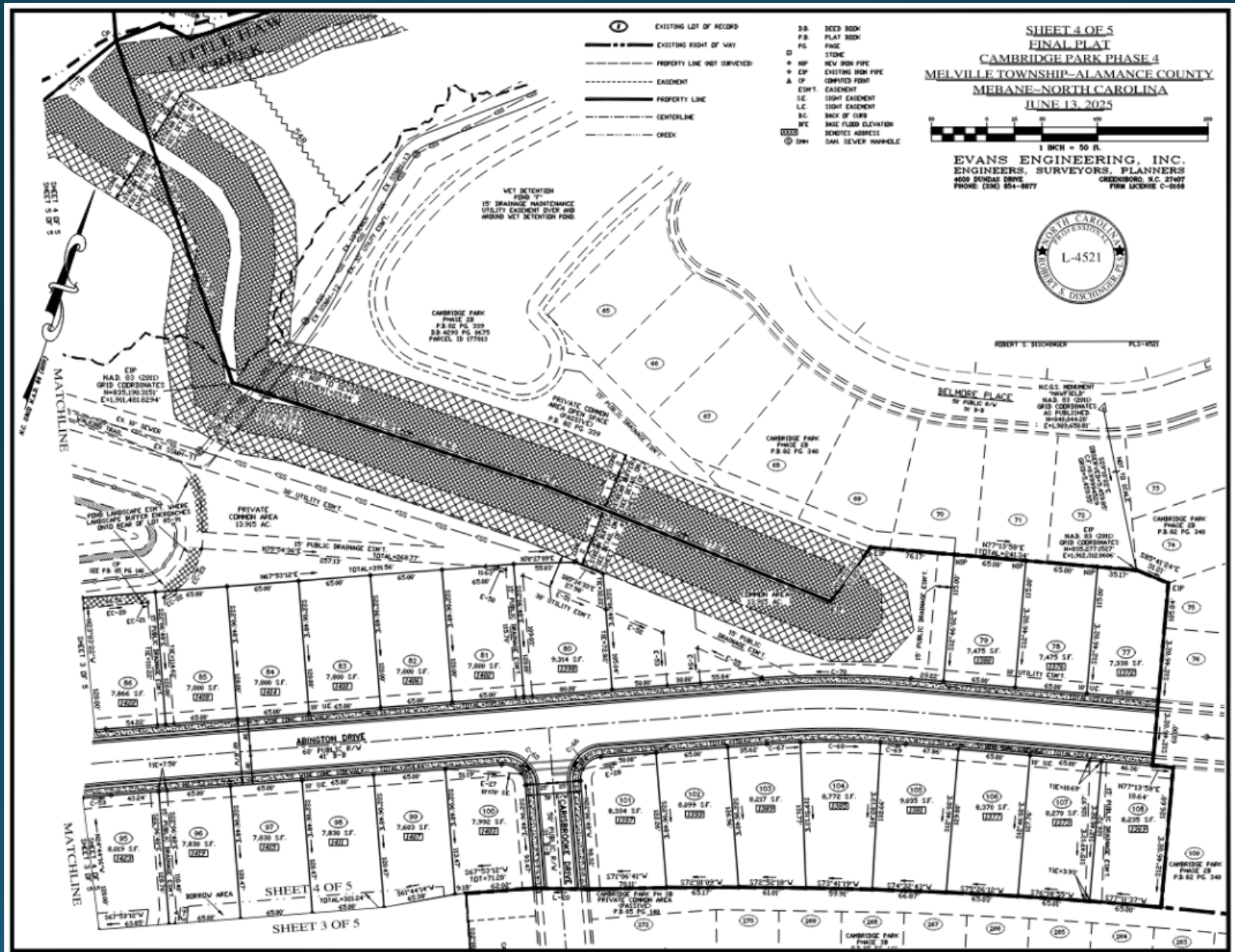


Mayor Hooks

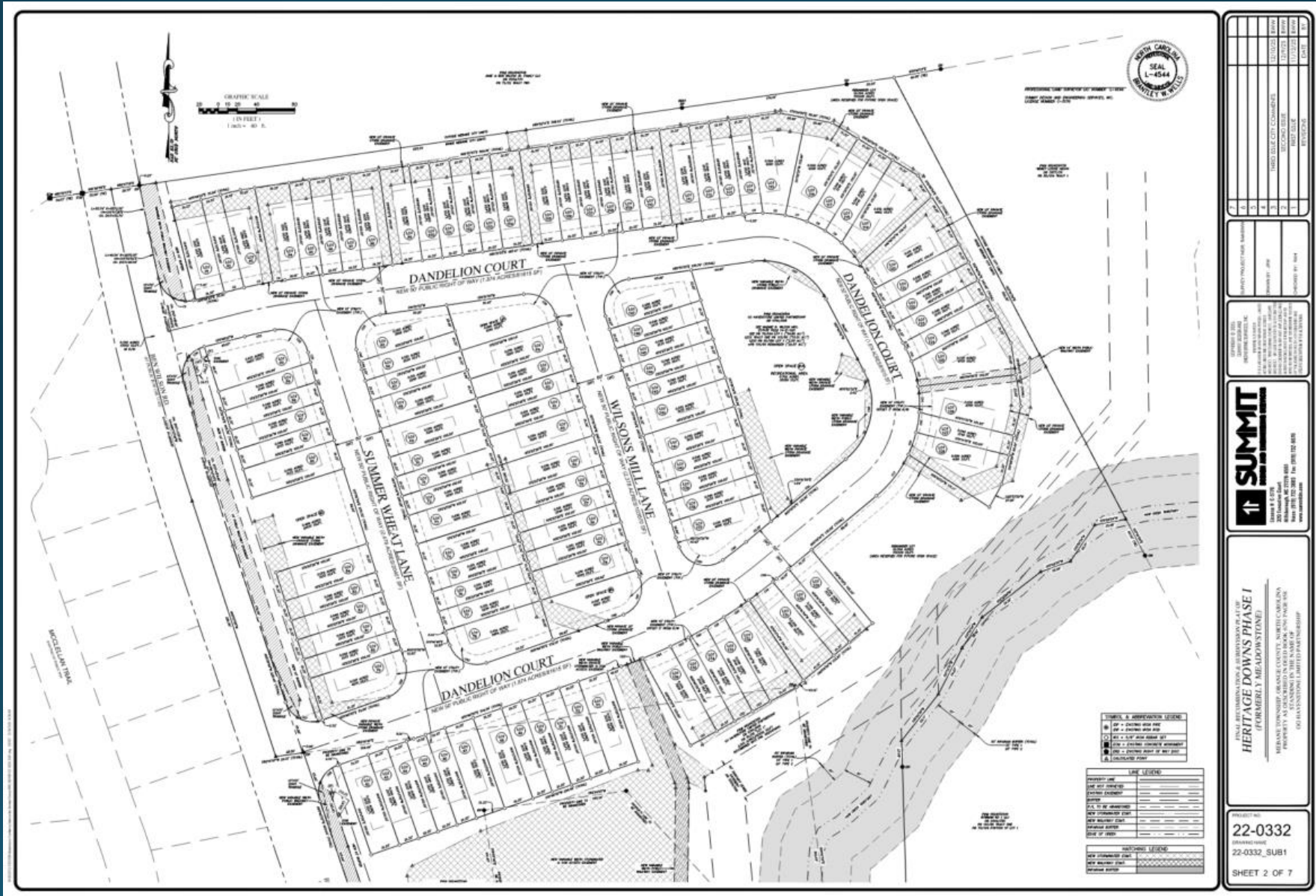
Proclamation- Litter Sweep- April 11-25th



Final Plat Reapproval- Cambridge Park, Ph. 4



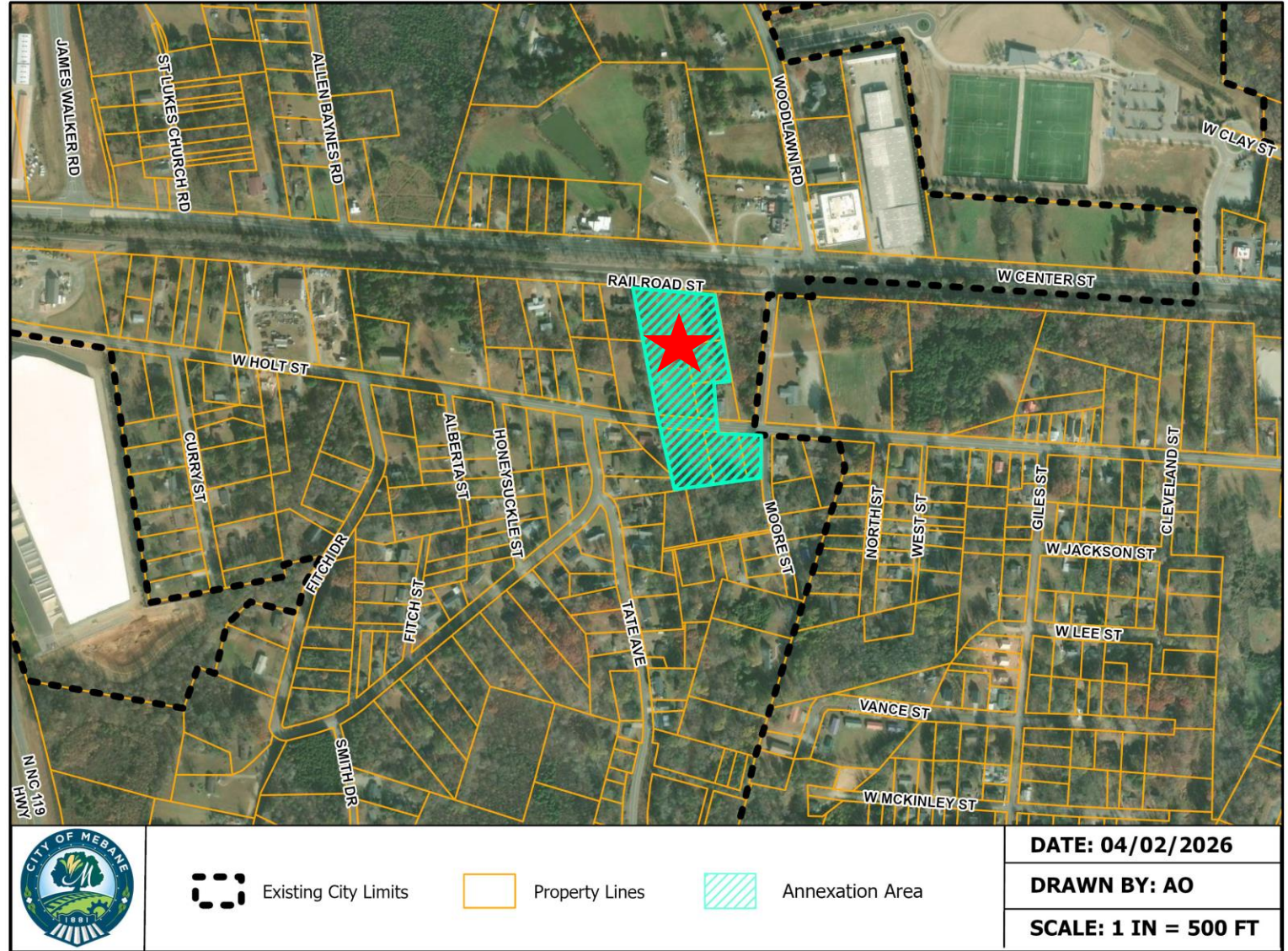
Final Plat Reapproval- Heritage Downs, Ph. 1



Annexation Petition-

Grace Outreach Ministry- W. Holt Street

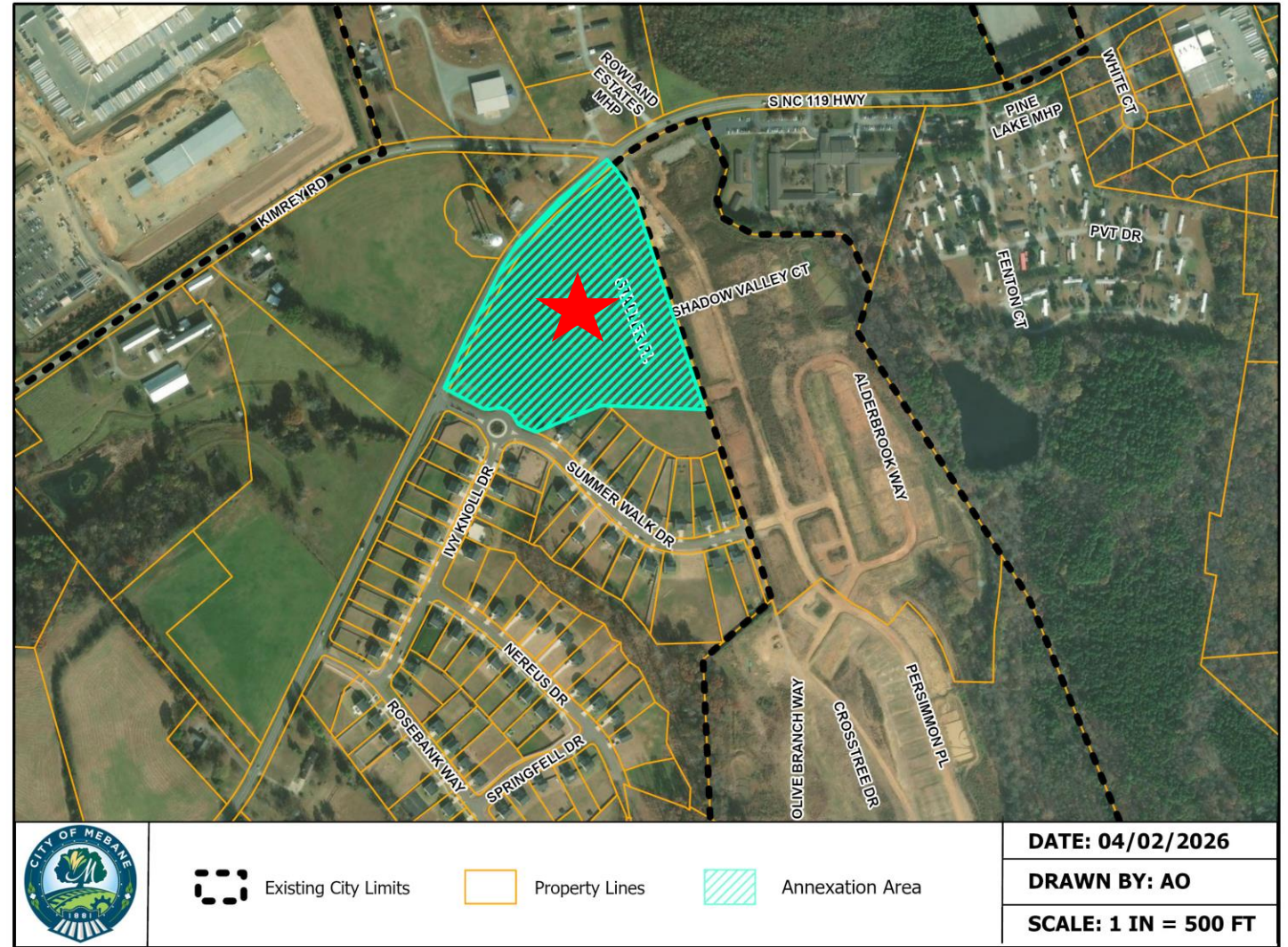
- Voluntary Contiguous
- +/- 5.10 acres located in Alamance County at W. Holt Street.
- Accept the Petition and the Clerk's Certificate of Sufficiency
- Set a Date for the Public Hearing for May 4, 2026



Annexation Petition-

Stadler Place- Christian Education Society and Hawfields BTR Partners, LLC- S. NC Hwy 119

- Voluntary Non-Contiguous
- +/- 14.74 acres located on S. NC Hwy 119 in Alamance County. In July 2025, the Council approved 140 apartments for this property.
- Accept the Petition and the Clerk's Certificate of Sufficiency
- Set a Date for the Public Hearing for May 4, 2026





Ashley Ownbey, Development Director

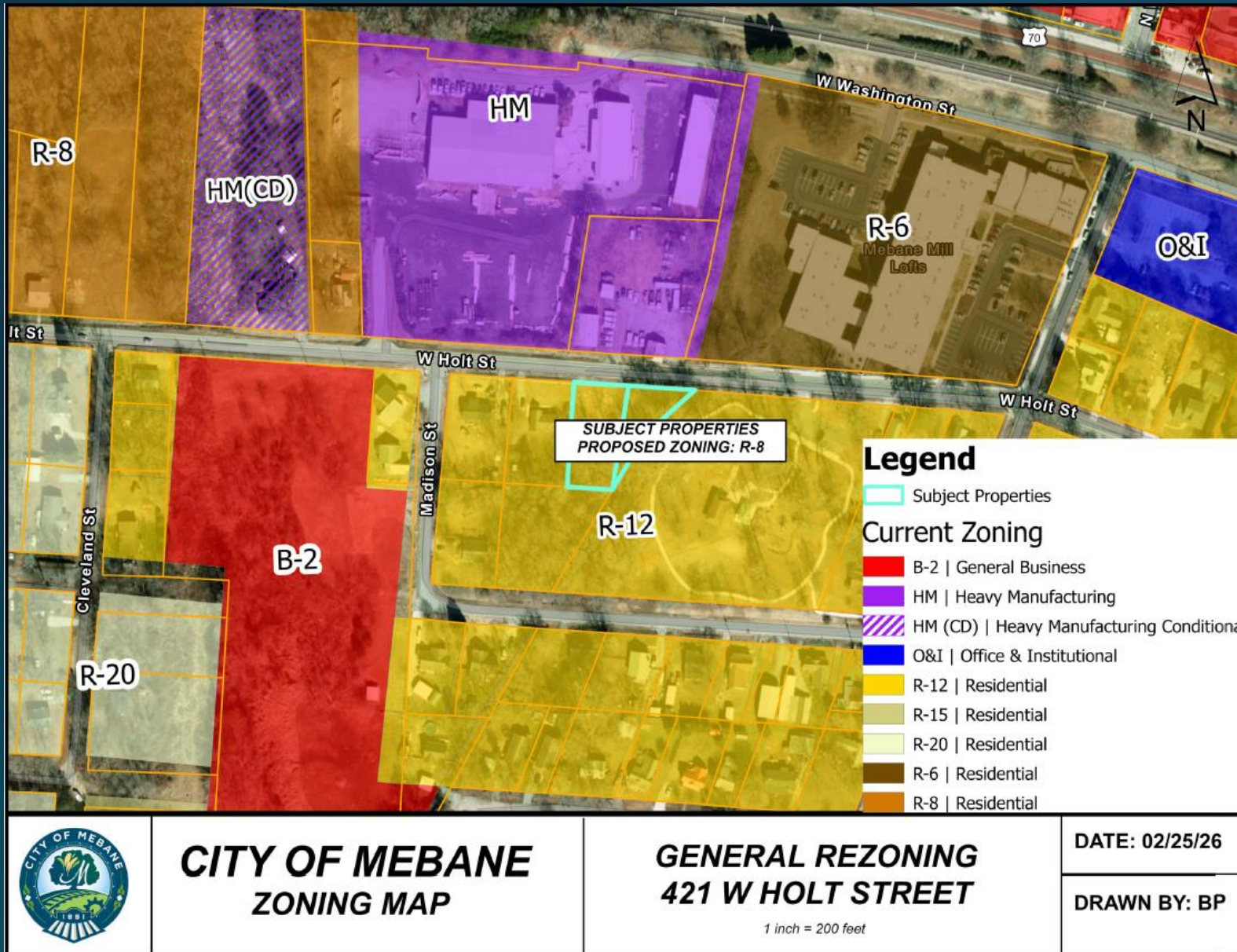
Request to Rezone: R-12 to R-8
by AMM Properties, LLC



421 W Holt Street

General Rezoning Request

- Request by AMM Properties, LLC
- +/- 0.48 acre
- Existing zoning: R-12
- Requested zoning: R-8



CITY OF MEBANE
ZONING MAP

GENERAL REZONING
421 W HOLT STREET

1 inch = 200 feet

DATE: 02/25/26

DRAWN BY: BP





421 W. Holt Street General Rezoning Request

- Mebane City Limits
- Alamance County
- City utilities are available.





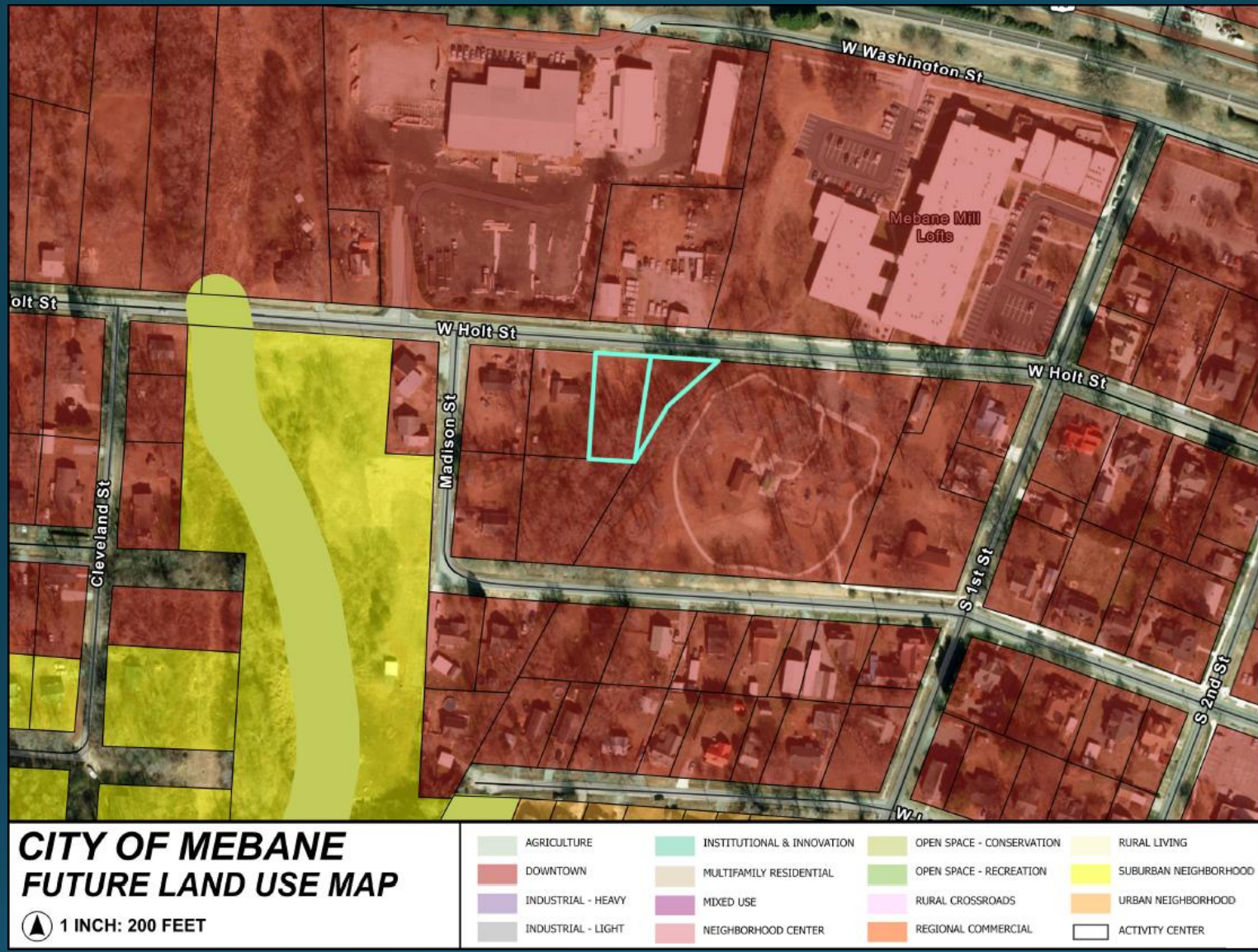
Sources: Ben TomTom, <https://www.fishbase.org/>, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, QGIS, Microsoft, Vector

421 W. Holt Street

General Rezoning Request

- Existing use: Vacant
- Surrounding uses include:
 - Single-family
 - Public park
 - Multifamily
 - Motor Vehicle Sales
 - Warehouse

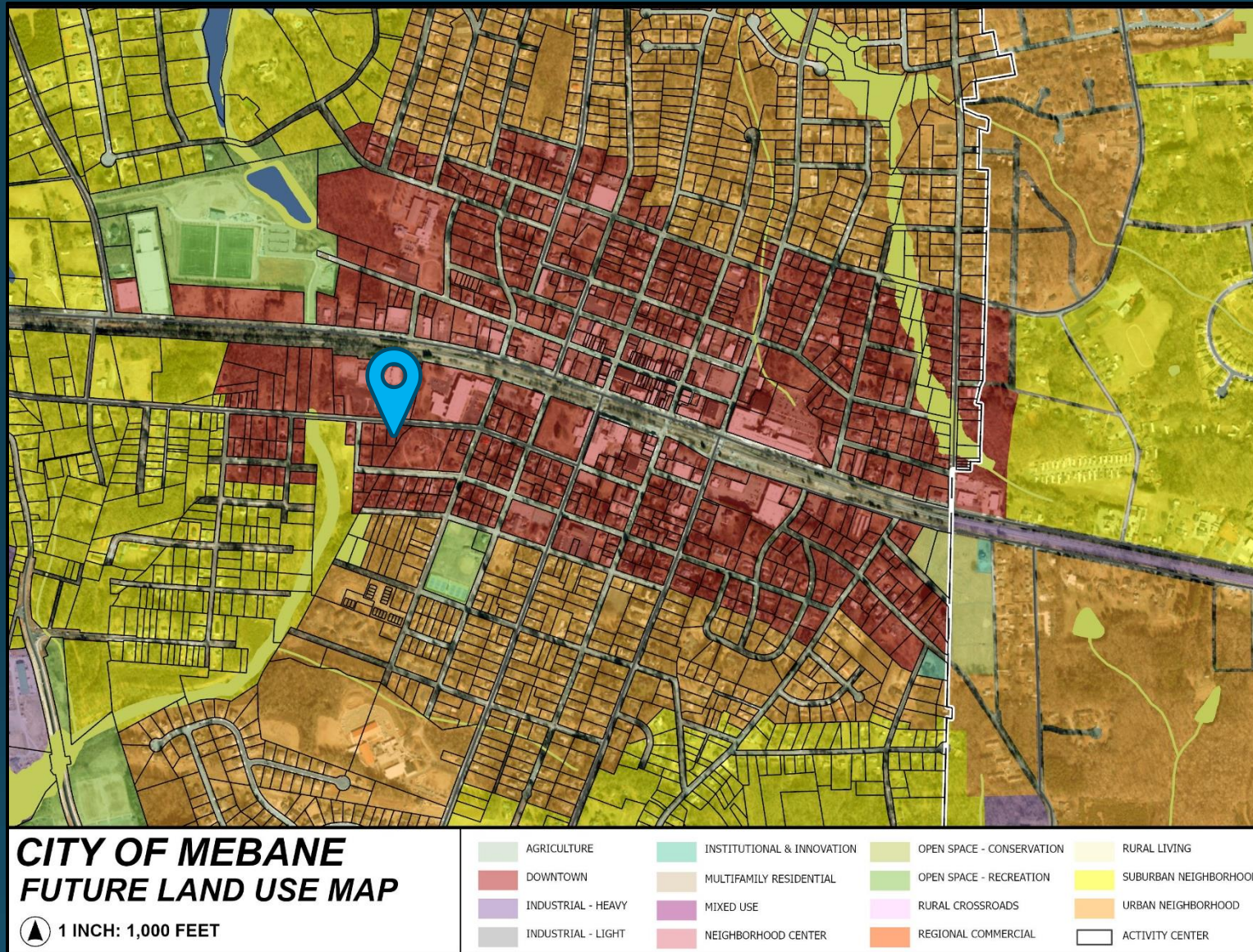




421 W. Holt Street
General Rezoning Request

Mebane 2045 Comprehensive Plan, Downtown





421 W. Holt Street
General Rezoning Request

Mebane 2045 Comprehensive Plan, Downtown





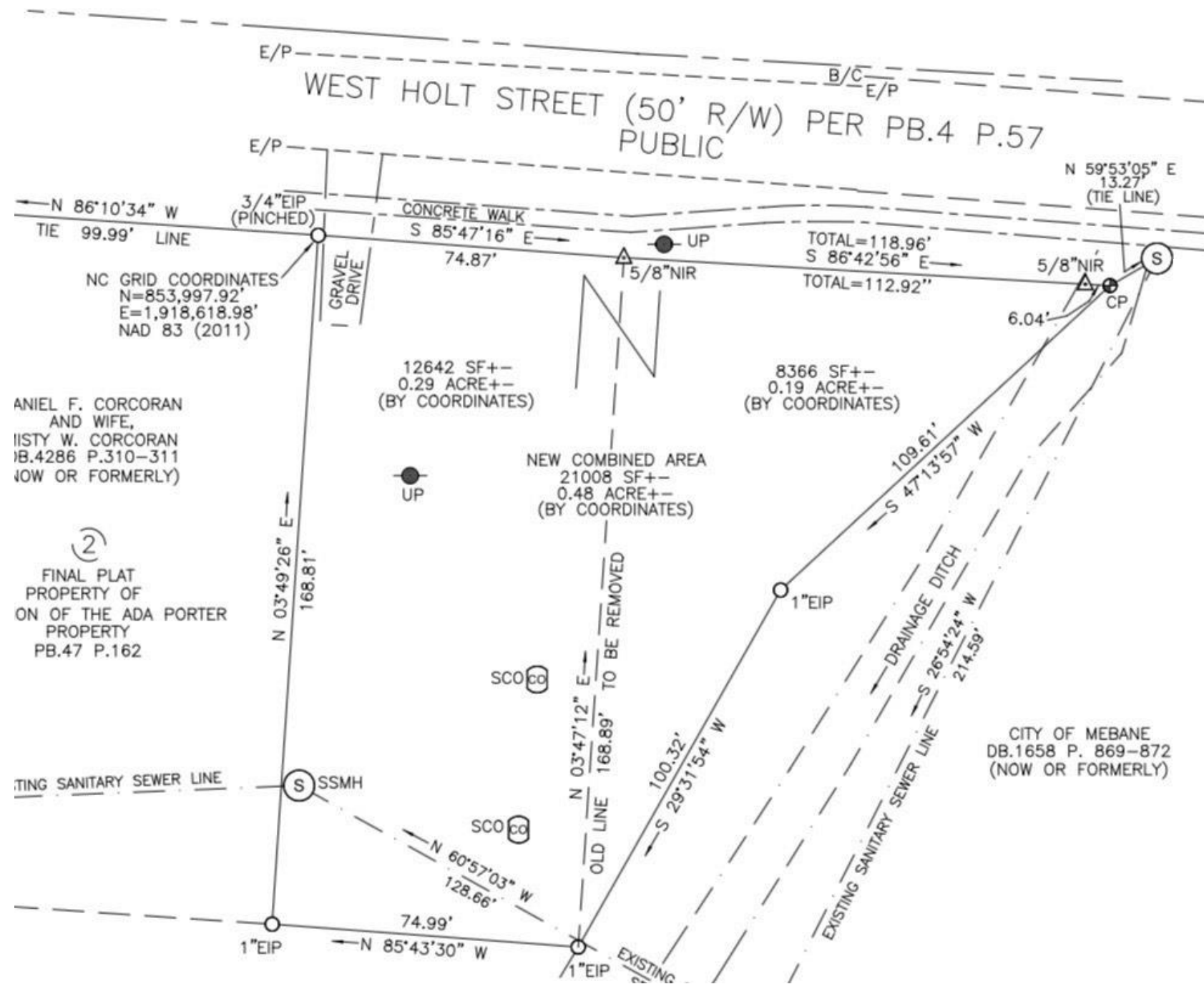
Applicant Presentation



421 W. Holt Street

Zoning Request from R-12 to R-8

421 W. Holt Street (.48 Acre)



421 W. Holt Street (.48 Acre)





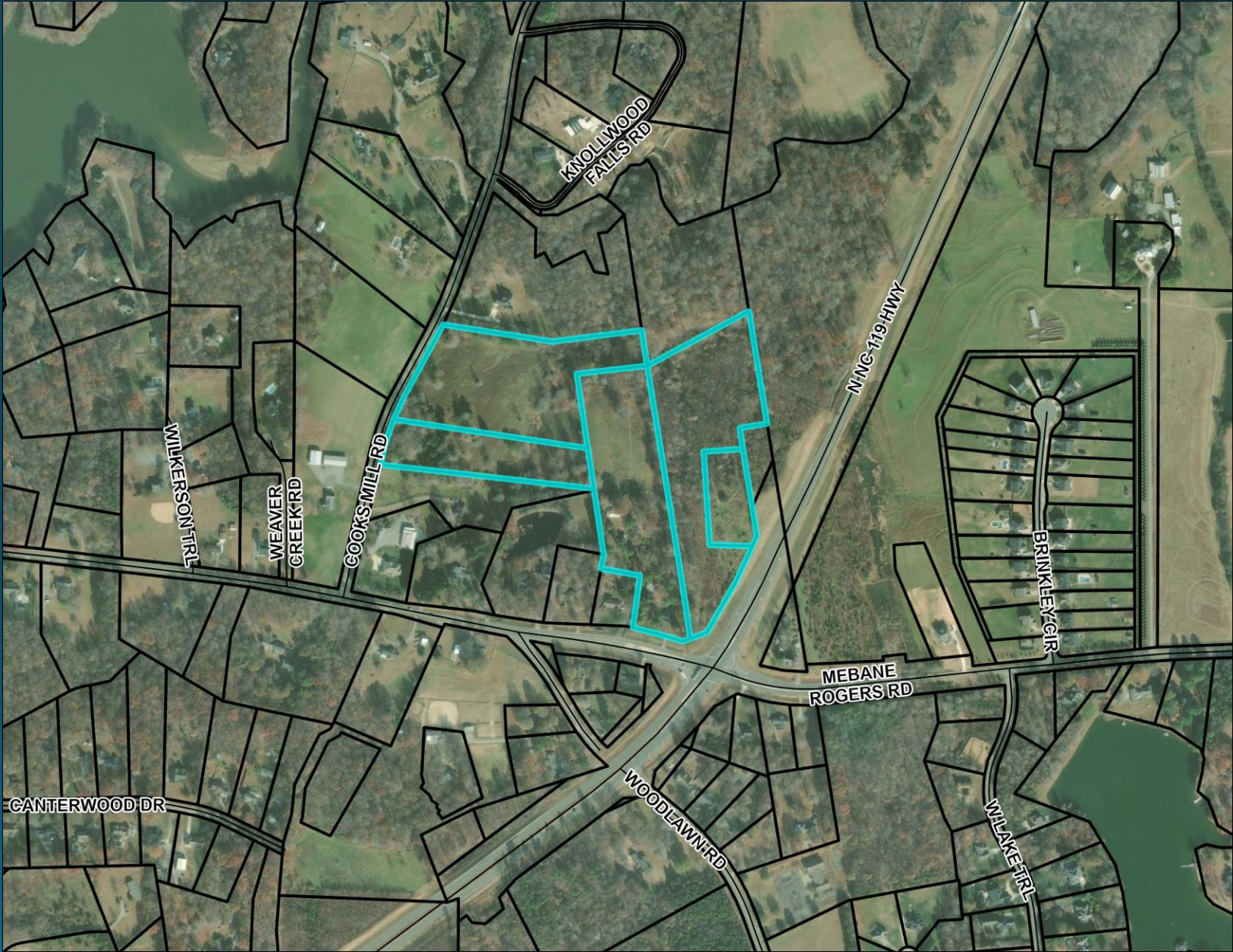
Mr. Brown

Purchase of Property- Thorbright, LLC

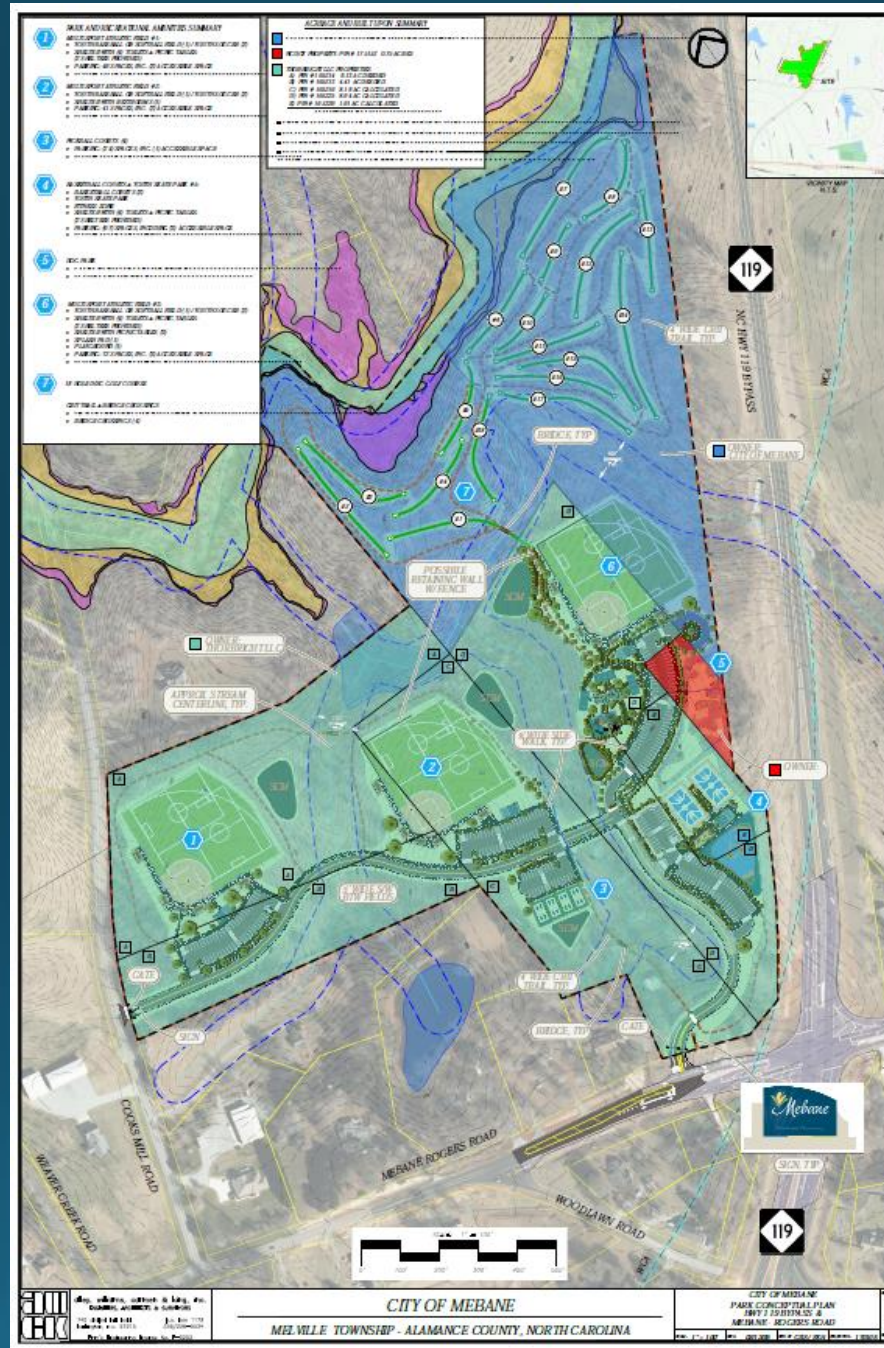


Purchase of Property-

Thorbright, LLC- +/- 37.2 acres off
Mebane Rogers and Cooks Mill Road



Thorbright, LLC Property- Conceptual Park Layout



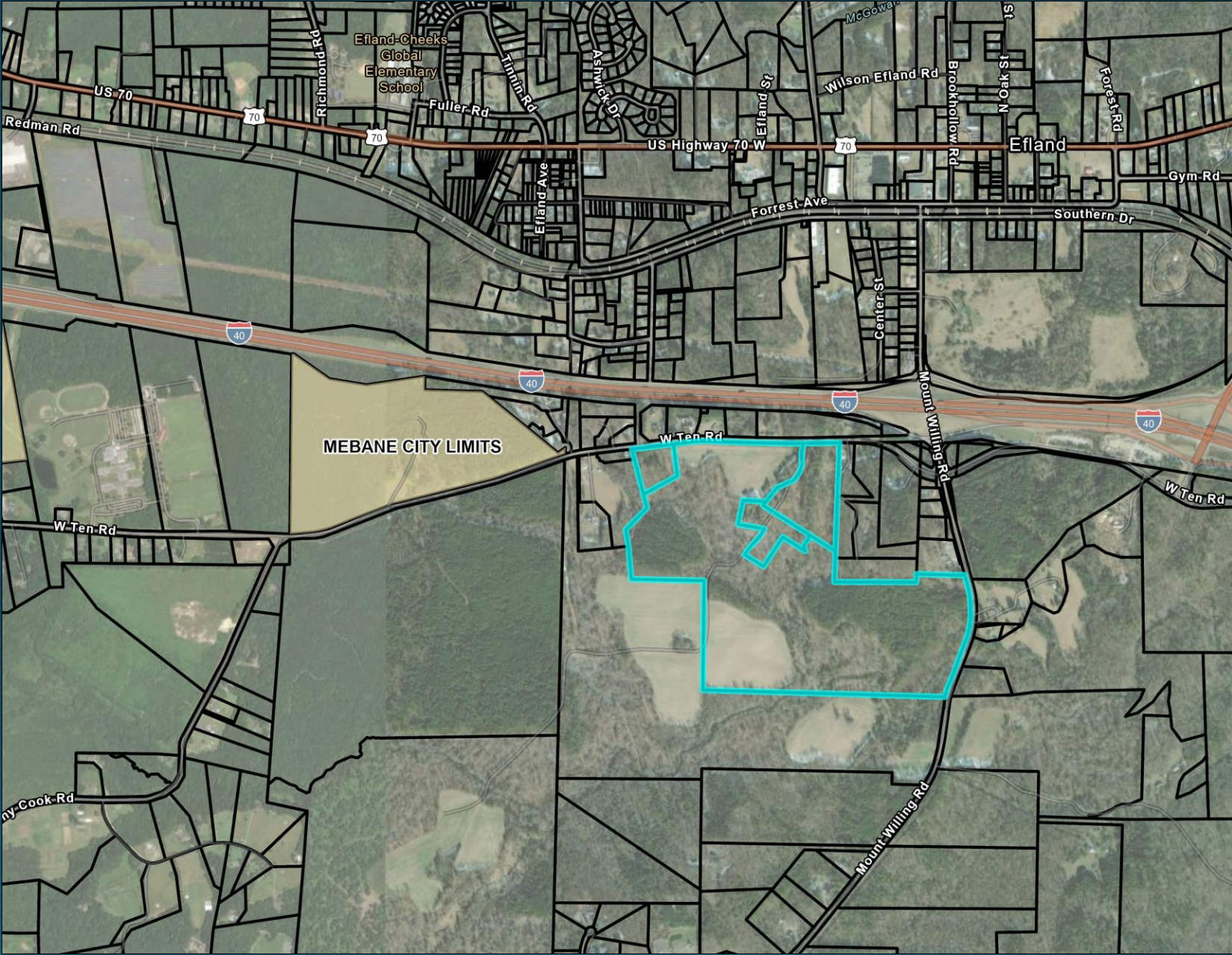


Mr. Brown

Purchase of Property- Seven Mile Farm, LLC

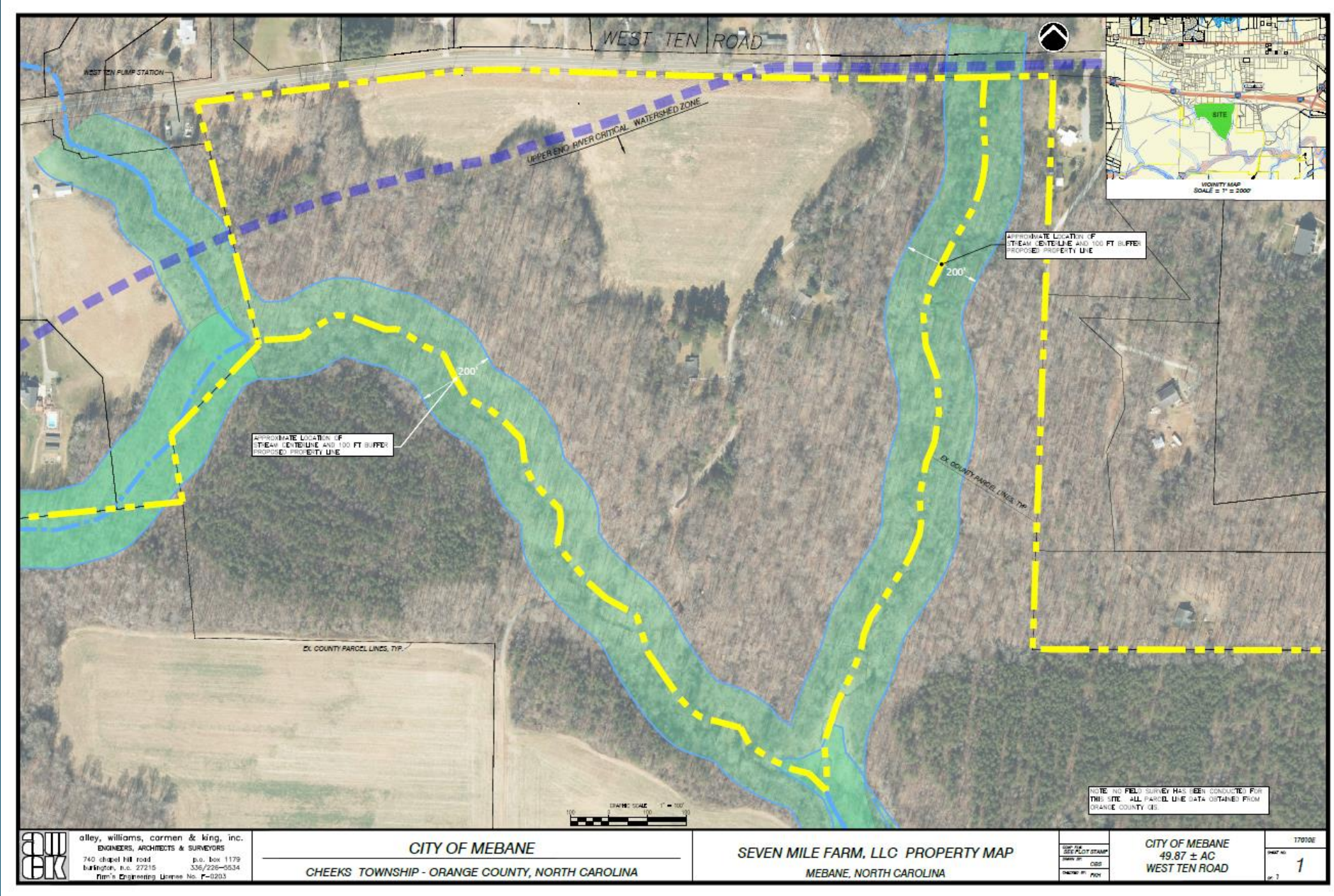


General Location of Seven Mile Farm, LLC Property



Purchase of Property-

Seven Mile Farm, LLC-
+/- 50 acres on West Ten Rd.



Seven Mile Farm, LLC-
Conceptual Park Layout





Mr. Brown

Annexation Agreement-
On the Button Development, LLC – 429 Tate Avenue



Voluntary Annexation Agreement- On the Button Development, LLC – 429 Tate Avenue





Franz Holt, City Engineer

Kyle Smith, Utilities Director

Daphna Schwartz, Finance Director

GKN Pump Station Force Main Replacement Project



GKN Pump Station Force Main Replacement

- The project includes the installation of 3,000 feet of 10-inch DIP force main replacing an older 6-inch CIP.
- A total of five bids were received for the construction of a new 10" DIP force main project.
- The low base bid of \$717,700 submitted by North State Water & Sewer, Inc.
- The pre-bid cost estimate was \$750,000.
- Recommended Project Budget:
 - Construction Cost: \$717,700
 - Engineering Design: \$50,000
 - Easement Acquisition: \$15,000
 - Construction Engineering, Stakeout and Inspection: \$50,000
 - Project Contingency: \$67,300
 - Total: \$900,000
- City staff recommends awarding the base bid to North State Water & Sewer in the amount of \$717,700.



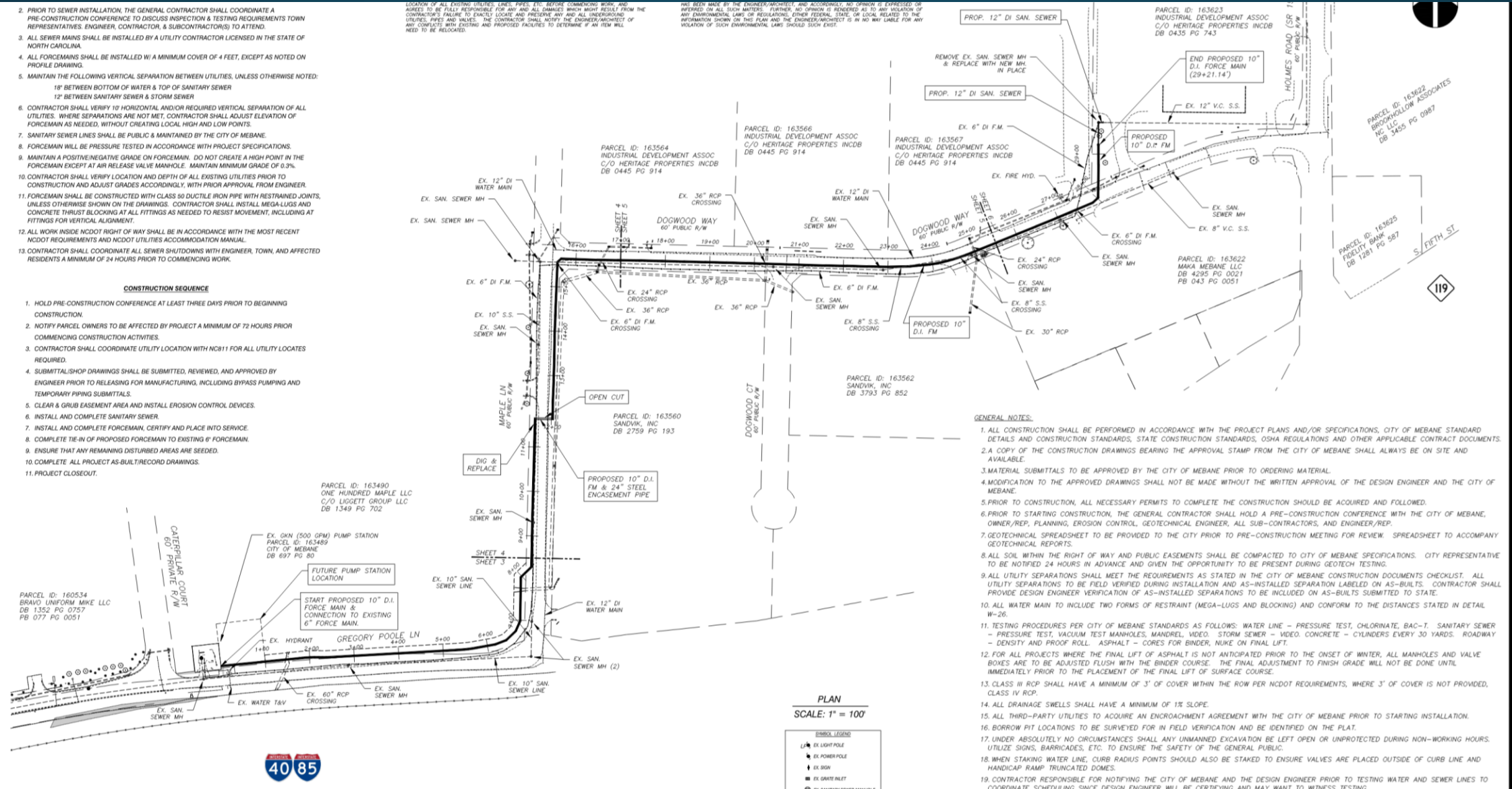
- PRIOR TO SEWER INSTALLATION, THE GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION CONFERENCE TO DISCUSS INSPECTION & TESTING REQUIREMENTS WITH REPRESENTATIVES, ENGINEER, CONTRACTOR, & SUBCONTRACTOR(S) TO ATTEND.
- ALL SEWER MAINS SHALL BE INSTALLED BY A UTILITY CONTRACTOR LICENSED IN THE STATE OF NORTH CAROLINA.
- ALL FORCEMAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 4 FEET, EXCEPT AS NOTED ON PROFILE DRAWING.
- MAINTAIN THE FOLLOWING VERTICAL SEPARATION BETWEEN UTILITIES, UNLESS OTHERWISE NOTED:
18" BETWEEN BOTTOM OF WATER & TOP OF SANITARY SEWER
12" BETWEEN SANITARY SEWER & STORM SEWER
- CONTRACTOR SHALL VERIFY TO HORIZONTAL AND/OR REQUIRED VERTICAL SEPARATION OF ALL UTILITIES, WHERE SEPARATIONS ARE NOT MET, CONTRACTOR SHALL ADJUST ELEVATION OF FORCEMAIN AS NEEDED, WITHOUT CREATING LOCAL HIGH AND LOW POINTS.
- SANITARY SEWER LINES SHALL BE PUBLIC & MAINTAINED BY THE CITY OF MEBANE.
- FORCEMAIN WILL BE PRESSURE TESTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- MAINTAIN A POSITIVE/NEGATIVE GRADE ON FORCEMAIN. DO NOT CREATE A HIGH POINT IN THE FORCEMAIN EXCEPT AT AIR RELEASE VALVE MANHOLE. MAINTAIN MINIMUM GRADE OF 0.3%.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ADJUST GRADES ACCORDINGLY, WITH PRIOR APPROVAL FROM ENGINEER.
- FORCEMAIN SHALL BE CONSTRUCTED WITH CLASS 50 DUCTILE IRON PIPE WITH RESTRAINED JOINTS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS. CONTRACTOR SHALL INSTALL MEGA-LUGS AND CONCRETE THRUST BLOCKING AT ALL FITTINGS AS NEEDED TO RESIST MOVEMENT, INCLUDING AT FITTINGS FOR VERTICAL ALIGNMENT.
- ALL WORK INSIDE NCDOT RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE MOST RECENT NCDOT REQUIREMENTS AND NCDOT UTILITIES ACCOMMODATION MANUAL.
- CONTRACTOR SHALL COORDINATE ALL SEWER SHUTDOWNS WITH ENGINEER, TOWN, AND AFFECTED RESIDENTS A MINIMUM OF 24 HOURS PRIOR TO COMMENCING WORK.

CONSTRUCTION SEQUENCE

- HOLD PRE-CONSTRUCTION CONFERENCE AT LEAST THREE DAYS PRIOR TO BEGINNING CONSTRUCTION.
- NOTIFY PARCEL OWNERS TO BE AFFECTED BY PROJECT A MINIMUM OF 72 HOURS PRIOR COMMENCING CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL COORDINATE UTILITY LOCATION WITH NC811 FOR ALL UTILITY LOCATES REQUIRED.
- SUBMITTALS/SHOP DRAWINGS SHALL BE SUBMITTED, REVIEWED, AND APPROVED BY ENGINEER PRIOR TO RELEASING FOR MANUFACTURING, INCLUDING BYPASS PUMPING AND TEMPORARY PIPING SUBMITTALS.
- CLEAR & GRUB EASEMENT AREA AND INSTALL EROSION CONTROL DEVICES.
- INSTALL AND COMPLETE SANITARY SEWER.
- INSTALL AND COMPLETE FORCEMAIN, CERTIFY AND PLACE INTO SERVICE.
- COMPLETE TIE-IN OF PROPOSED FORCEMAIN TO EXISTING 6" FORCEMAIN.
- ENSURE THAT ANY REMAINING DISTURBED AREAS ARE SEED.
- COMPLETE ALL PROJECT AS-BUILT/RECORD DRAWINGS.
- PROJECT CLOSEOUT.

LOCATION OF ALL EXISTING UTILITIES, LINES, PIPES, ETC. BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESENT ANY AND ALL UNDERGROUND UTILITIES, PIPES AND DRAINS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY CONFLICTS WITH EXISTING AND PROPOSED FACILITIES TO DETERMINE IF AN ITEM WILL NEED TO BE RELOCATED.

HAS BEEN MADE BY THE ENGINEER/ARCHITECT AND ACCORDINGLY, NO OPINION IS EXPRESSED OR REFERRED ON ALL SUCH MATTERS. FURTHER, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS, OR REGULATIONS, OTHER FEDERAL, STATE, OR LOCAL, RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER/ARCHITECT IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD SUCH EXIST.



PLAN
SCALE: 1" = 100'

SYMBOL LEGEND

—	EX. LIGHT POLE
●	EX. POWER POLE
▲	EX. SIGN
■	EX. GATE INLET
○	EX. UTILITY LOCATION

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS, CITY OF MEBANE STANDARD DETAILS AND CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, OSHA REGULATIONS AND OTHER APPLICABLE CONTRACT DOCUMENTS.
- A COPY OF THE CONSTRUCTION DRAWINGS BEARING THE APPROVAL STAMP FROM THE CITY OF MEBANE SHALL ALWAYS BE ON SITE AND AVAILABLE.
- MATERIAL SUBMITTALS TO BE APPROVED BY THE CITY OF MEBANE PRIOR TO ORDERING MATERIAL.
- MODIFICATION TO THE APPROVED DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER AND THE CITY OF MEBANE.
- PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS TO COMPLETE THE CONSTRUCTION SHOULD BE ACQUIRED AND FOLLOWED.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MEBANE, OWNER/REP, PLANNING, EROSION CONTROL, GEOTECHNICAL ENGINEER, ALL SUB-CONTRACTORS, AND ENGINEER/REP.
- GEOTECHNICAL SPREADSHEET TO BE PROVIDED TO THE CITY PRIOR TO PRE-CONSTRUCTION MEETING FOR REVIEW. SPREADSHEET TO ACCOMPANY GEOTECHNICAL REPORTS.
- ALL SOIL WITHIN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE COMPACTED TO CITY OF MEBANE SPECIFICATIONS. CITY REPRESENTATIVE TO BE NOTIFIED 24 HOURS IN ADVANCE AND GIVEN THE OPPORTUNITY TO BE PRESENT DURING GEOTECH TESTING.
- ALL UTILITY SEPARATIONS SHALL MEET THE REQUIREMENTS AS STATED IN THE CITY OF MEBANE CONSTRUCTION DOCUMENTS CHECKLIST. ALL UTILITY SEPARATIONS TO BE FIELD VERIFIED DURING INSTALLATION AND AS-INSTALLED SEPARATION LABELED ON AS-BUILTS. CONTRACTOR SHALL PROVIDE DESIGN ENGINEER VERIFICATION OF AS-INSTALLED SEPARATIONS TO BE INCLUDED ON AS-BUILTS SUBMITTED TO STATE.
- ALL WATER MAIN TO INCLUDE TWO FORMS OF RESTRAINT (MEGA-LUGS AND BLOCKING) AND CONFORM TO THE DISTANCES STATED IN DETAIL W-26.
- TESTING PROCEDURES PER CITY OF MEBANE STANDARDS AS FOLLOWS: WATER LINE - PRESSURE TEST, CHLORINATE, BAC-T. SANITARY SEWER - PRESSURE TEST, VACUUM TEST MANHOLES, MANDREL VIDEO. STORM SEWER - VIDEO. CONCRETE - CYLINDERS EVERY 30 YARDS. ROADWAY - DENSITY AND PROOF ROLL. ASPHALT - CORES FOR BINDER, CURB ON FINAL LIFT.
- FOR ALL PROJECTS WHERE THE FINAL LIFT OF ASPHALT IS NOT ANTICIPATED PRIOR TO THE ONSET OF WINTER, ALL MANHOLES AND VALVE BOXES ARE TO BE ADJUSTED FLUSH WITH THE BINDER COURSE. THE FINAL ADJUSTMENT TO FINISH GRADE WILL NOT BE DONE UNTIL IMMEDIATELY PRIOR TO THE PLACEMENT OF THE FINAL LIFT OF SURFACE COURSE.
- CLASS III RCP SHALL HAVE A MINIMUM OF 3' OF COVER WITHIN THE ROW PER NCDOT REQUIREMENTS, WHERE 3' OF COVER IS NOT PROVIDED, CLASS IV RCP.
- ALL DRAINAGE SWELLS SHALL HAVE A MINIMUM OF 1% SLOPE.
- ALL THIRD-PARTY UTILITIES TO ACQUIRE AN ENCROACHMENT AGREEMENT WITH THE CITY OF MEBANE PRIOR TO STARTING INSTALLATION.
- BORROW PIT LOCATIONS TO BE SURVEYED FOR IN FIELD VERIFICATION AND BE IDENTIFIED ON THE PLAT.
- UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS. UTILITY SIGNS, BARRICADES, ETC. TO ENSURE THE SAFETY OF THE GENERAL PUBLIC.
- WHEN STAKING WATER LINE, CURB RADIUS POINTS SHOULD ALSO BE STAKED TO ENSURE VALVES ARE PLACED OUTSIDE OF CURB LINE AND HANDICAP RAMP TRUNCATED DOMES.
- CONTRACTOR RESPONSIBLE FOR NOTIFYING THE CITY OF MEBANE AND THE DESIGN ENGINEER PRIOR TO TESTING WATER AND SEWER LINES TO COORDINATE SCHEDULING SINCE DESIGN ENGINEER WILL BE CERTIFYING AND MAY WANT TO WITNESS TESTING.



Announcements:

- April 9th 1:00 pm- Council Budget Work Session
@ Glendel Stephenson Municipal Bldg.- Council Chambers
- April 9th-10th- Graham-Mebane Water Treatment Plant will undergo scheduled maintenance



Upcoming *Mebane* Special Events

Apr.

11, 18,
25



DOWNTOWN
Mebane
FARMERS MARKET

Downtown Mebane 8:30am-12pm

REPEATS EVERY
SATURDAY UNTIL
NOVEMBER 14TH!

May

8

MOVIES
IN THE PARK



Apr.

24-25



MOVIES
AF
TER DARK



Downtown Mebane Friday starting at dark

May

15

Mebane
MUSIC
ON 9TH

Red House Band
Classic Rock, Southern
Rock, Country and Blues



May

1

MOVIES
IN THE PARK

Lilo &
Stitch

May

23

MOVIES
IN THE PARK





Mayor Hooks

Adjournment

